

MAY 2006

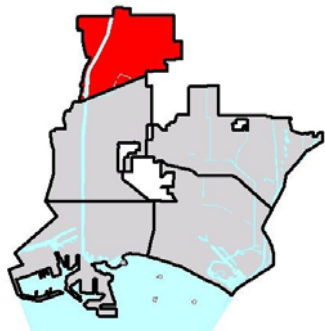
North Long Beach Community Planning Bulletin

City of Long Beach ■ Department of Planning and Building
Community and Environmental Planning Division

www.longbeach.gov/plan/pb/cpd



Revised May 11, 2006



The City of Long Beach is divided into five planning areas with a Community Planner assigned to each geographic area. This monthly bulletin is compiled by your community planner as a forum to update citizens on new developments and neighborhood issues as a way of keeping citizens involved in the planning process. Please contact Scott Mangum, North Long Beach Community Planner, at (562) 570-6435 or via email at Scott.Mangum@longbeach.gov if you have questions about this bulletin.

This bulletin is also available on the internet at:
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NEW APPLICATIONS

1. Staff Site Plan Review for new 3,962 SF retail building at 6598 Cherry Ave. (Case 0604-30) IB (see Attachment 6)

The 15,575 SF lot, zoned CCA (Commercial Community Automobile-Oriented) is currently vacant. A one-story 3,962 SF retail building with four lease areas and 21 parking spaces is proposed. The project will be reviewed through Staff Site Plan Review.

2. Staff Site Plan Review for new 24,784 SF 2-story office building at 5850 Obispo Ave. (Case 0604-36) LH (see Attachment 8)

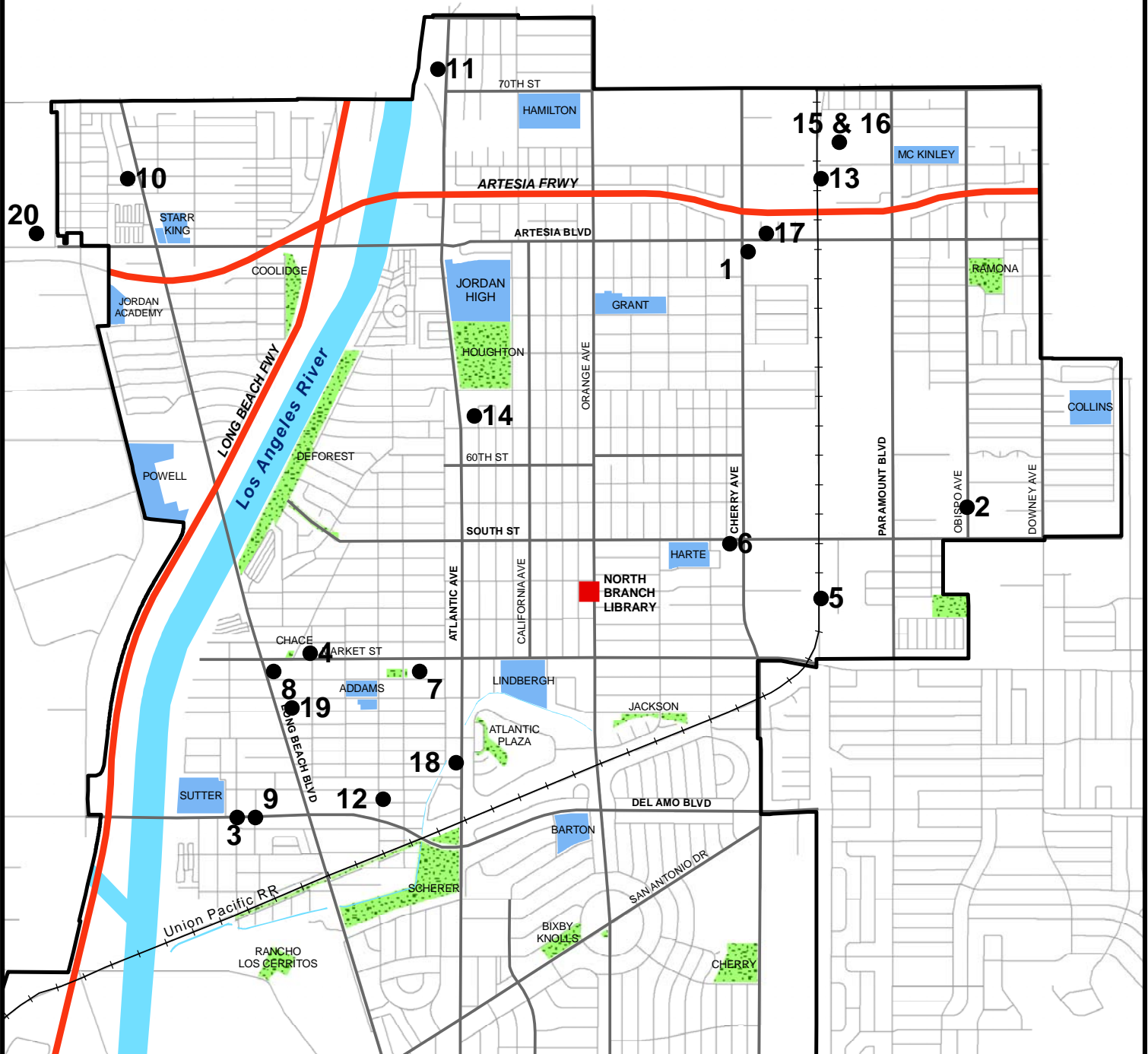
The site, zoned IL (Light Industrial), is currently developed as a parking lot and also contains several dilapidated structures. A new 24,784 SF 2-story office building with 102 parking spaces is proposed by TA Chen International. TA Chen International, a manufacturer and distributor of stainless steel products, has offices and a warehouse on the west side of the street. The project will be reviewed through Staff Site Plan Review.

3. Standards Variance to Legalize Home Addition and Garage Conversion at 28 W. Del Amo Blvd. (Case 0604-25) CJ (see Attachment 11)

The existing house, built in 1922, is located on an approximately 33' x 70' lot which is zoned R-3-T (Townhouse Residential). A two-car garage was added in 1926. The applicant has applied to legalize an addition and conversion of half of the two-car garage to a bedroom. According to the applicant a bedroom addition was constructed in 1958 that blocked access to the second half of the garage. To legalize the addition and conversion Standards Variances would be required for setbacks and possibly parking.

The Zoning Administrator **Public Hearing** is tentatively scheduled for **June 5, 2006**, at 2:00 P.M. in Planning and Building 7th Floor Conference Room. Written comments may be addressed to the Zoning Administrator, Carolyne Bihn, Department of Planning and Building, 333 W. Ocean Boulevard 7th Floor, Long Beach CA 90802.

North Long Beach - Site Location Map



- Library
- Park
- School



0 1,250 2,500 5,000
Feet

1. 6598 Cherry Ave. – SSPR for new 3,962 SF Retail Center
2. 5850 Obispo Ave. – SSPR for new 2-story 24,782 SF Office Building
3. 28 W. Del Amo Blvd. – SV to Legalize Addition/Garage (6/5 ZA?)
4. 77 E. Market St. – CUP for Church (PC)
5. 5505 Ackerfield Ave. – 55 unit Condo Conversion (6/15 PC?)
6. 1900 South St. – CUP for new Monopole (6/15 PC?)
7. 5398 Linden Ave. – SSPR for Cellular Antenna Addition
8. 5350 Long Beach Blvd. – CUP for Church (PC)
9. 85 W. Del Amo Blvd. – CUP for Day Care Center (PC)

4. Conditional Use Permit for a Church at 77 E. Market St. (Case 0603-96) MM (see Attachment 2)

The triangular shaped lot at the Northeast corner of Market and Dairy is zoned CNR (Neighborhood Commercial and Residential). The structure was previously operated as a bar/tavern. Churches are permitted in the CNR zone with a Conditional Use Permit. The church, which currently conducts services at this location, was cited by code enforcement for operating without a CUP. The Planning Commission will hear the CUP request at a date uncertain.

5. Condo Conversion of a 55 unit apartment building at 5505 Ackerfield Ave. (Case 0603-86) LH (see Attachment 5)

The applicant is requesting to convert an existing 5-building, 55-unit complex consisting of one, two, and three bedroom apartments to ownership condominium units. The site currently has 70 parking spaces where 65 are required by code for a condo conversion.

The Planning Commission **Public Hearing** is tentatively scheduled for **June 15, 2006**, at 1:30 P.M. in the City Council Chambers of City Hall. Written comments may be addressed to the Commission, in-care-of Carolyn Bihn, Zoning Administrator, Department of Planning and Building, 333 W. Ocean Boulevard 7th Floor, Long Beach CA 90802.

PENDING CASES PREVIOUSLY REPORTED ON

6. Conditional Use Permit for new cellular Monopole at 1900 South St. (Case 0603-72) LH (see Attachment 12)

A 45' high cellular monopole, designed as a freestanding "steeple" supported by three poles with a sign shielding the antennas, is proposed in the parking lot of the Glad Tidings Church. The equipment cabinets are proposed on the ground adjacent to the pole enclosed by a 7' high block wall. A Conditional Use Permit is required for cellular monopoles in all Commercial zones.

The Planning Commission **Public Hearing** is tentatively scheduled for **June 15, 2006**, at 1:30 P.M. in the City Council Chambers of City Hall. Written comments may be addressed to the Commission, in-care-of Carolyn Bihn, Zoning Administrator, Department of Planning and Building, 333 W. Ocean Boulevard 7th Floor, Long Beach CA 90802.

7. Staff Site Plan Review Cellular Antenna addition to 5398 Linden Ave. (Case 0603-04) LH (see Attachment 14)

The applicant proposes to attach antennas to the St. Athanasious Church bell tower approximately 58' from the ground. The antennas would be screened with a simulated brick finish to match the existing 90' tower with screened equipment cabinets located atop the existing balcony roof on the South side of the building. The site is located in the I (Institutional) zone. Attached/roof mounted cellular and personal communication services are permitted by right in the Institutional zone, but are subject to special development standards and must be reviewed through Staff Site Plan Review. A similar proposal for this location was approved in 2002 but not constructed and another was proposed in 2004 and later withdrawn.

8. Conditional Use Permit for a Church at 5350 Long Beach Blvd. (Case 0601-37) SV (see Attachment 3)

The approximately 57' x 119' lot is zoned CCA (Commercial Community Automobile-Oriented). The structure was originally constructed as a retail store, and occupied by Jones Department Store. Churches are permitted in the CCA zone with a Conditional Use Permit. The Shield of Faith Church, which currently conducts services at this location, was cited by code enforcement for operating without a CUP. The Church uses a 14-space parking lot located across the alley behind the Church. The Planning Commission will hear the CUP request at a date uncertain. The Church has notified staff that they are looking for new location and have identified a site that is for sale.

9. Conditional Use Permit for a Day Care Center at 85 W. Del Amo Blvd. (Case 0602-06) SV (see Attachment 7)

A Child Day Care Center is proposed at an existing 1,704 SF single family structure at 85 W. Del Amo Boulevard. The 5,150 SF lot is zoned R-1-N. A Conditional Use Permit is required for Day Care Centers with more than 15 persons in the R-1-N zone. Child Care facilities must also be licensed by the State of California Department of Social Services. The Planning Commission will hear the CUP request at a date uncertain.

Planning Staff has requested a Special Inspection to identify potential code issues in changing the occupancy of the building from a residential to a commercial use and has also requested information about the number of children intended to be cared for.

10. Conceptual Staff Site Plan Review for new coin-operated car wash at 6769 Long Beach Blvd. (Case 0511-29) SV (see Attachment 1)

A coin-operated car wash with six self-wash bays, eight vacuum machines, a 405 SF second story office, and eleven parking spaces is proposed at 6769 Long Beach Boulevard (Northwest corner of 67th Way and Long Beach Boulevard). The proposed development would take access from 67th Way and two adjacent alleys. The five lots, totaling 15,044 SF, are zoned CCA (Commercial Community Automobile-Oriented.) A Conditional Use Permit is required for a Car Wash in the CCA zone. Conceptual Site Plan Review is a preliminary review of the development proposal among City staff to point out public policies and code issues, which may affect the development; and to suggest alternatives. Following Conceptual Site Plan Review, the applicant may apply for the necessary entitlements at which time a Planning Commission Public Hearing date would be scheduled.

At Conceptual Site Plan Review it was determined that a Site Plan Review application would require a Conditional Use Permit, a Mitigated Negative Declaration (environmental review), and a standards variance for less than required setback from the Northern property line. As submitted staff would recommend denial based on concerns about the proximity of the use to single-family residential, noise, hours of operation, and light/glare.

11. Standards Variances to legalize horse stalls at 7105 Atlantic Place (Case 0509-29) JU (see Attachment 4)

The property, zoned R-2-N, is located within a Horse Overlay District. The Horse Overlay District establishes regulations, safeguards, and controls for keeping and maintaining horses.

A property within the Horse Overlay District and R-2-N zone may keep one horse for every 2,500 SF of lot area. The applicant requests to legalize 18 horse stalls, where a maximum of 8 horses/horse stalls are allowed by code. The applicant is also seeking standards variances for setbacks from rear and side property lines (0' setback is proposed where 10' is required) and minimum distances between horse stalls and other structures. The property owner has been cited by code enforcement. The Standards Variance requests will be heard at a future Zoning Administrator Hearing once applicable fees have been paid.

12. Administrative Use Permit to convert commercial building to residential at 306 E. Home St./5052 Locust St. (Case 0506-28) MM (see Attachment 9)

The 75' x 90' (6,750 SF) lot is zoned R1-N (Single Family Residential) and contains two primary structures, a single-family dwelling and vacant commercial structure built in 1928. The applicant has applied for an Administrative Use Permit to change the use of the commercial structure at the corner to a second residential unit. The existing two-car garage serves the existing house. The applicant has proposed to provide one or two additional open parking spaces on site to serve the proposed residential unit. Standards Variances will not be required for the existing structures. A firm Planning Commission date will be set once complete plans are submitted.

13. Modification of a Conditional Use Permit for a proposed LNG fueling station and tank at 2531 E. 67th St. (Case 9805-11, 9805-18) DB (see Attachment 13)

A new 50-foot high (12' diameter) Liquefied Natural Gas (LNG) storage tank and fueling station at the Consolidated Disposal Service yard at 2531 E. 67th Street is proposed. Consolidated states that the use of cleaner burning LNG vehicles, replacing the current diesel-fueled vehicles, will be phased in over time with 57 to be in operation by 2006 and 141 by 2012. The location of the new fueling station would be in close proximity to the existing diesel fueling station at the Western edge of the site near the Union Pacific Railroad tracks. Negative Declaration 07-05 will be prepared to evaluate potential environmental impacts.

The City of Long Beach Planning Commission approved the construction and expansion of an existing recycling center (originally established in the 1970s) and the construction of a new administration building with an appurtenant truck terminal facility in August of 1998. The current request requires a modification of the 1998 approval.

A firm Planning Commission date will be set once off-site improvements are met to the satisfaction of the Public Works Department.

14. Conditional Use Permit and Standards Variances for a Church at 6160 Atlantic Ave. (Case 0412-27) SV (see Attachment 10)

The existing structure was originally built in 1955 and used for commercial retail, is located at 6160 Atlantic Avenue. The wedge shaped lot measures 50' wide along Atlantic, 62' wide along the alley and 105' deep. Churches are permitted in the CNA (Commercial Neighborhood Automobile-Oriented) zone with a Conditional Use Permit. The Miracle of Faith Church that currently conducts services at this location was cited by code enforcement for operating without a CUP. The applicant proposes off-site parking at the Sav-On Drug store located at 6000 Atlantic Avenue. This arrangement would require an Administrative Use Permit for shared-use parking, and a Standards Variance because the off-site location is

located greater than 600' from the Church entrance. An additional variance would be required if this off-site parking arrangement was not deed restricted.

Based on testimony at the April 20, 2006 Planning Commission Hearing there is a possibility that a Church may have been established at this location prior to City zoning requirements for a Conditional Use Permit. If so, the land use may be legal nonconforming (grandfathered.) The Planning Commission **continued** the hearing to June 1, 2006 to allow the Church time to provide documentation stating when a Church was established at that location.

The continued Planning Commission **Public Hearing** is scheduled for **June 1, 2006**, at 1:30 P.M. in the City Council Chambers of City Hall. Written comments may be addressed to the Commission, in-care-of Carolyn Bihn, Zoning Administrator, Department of Planning and Building, 333 W. Ocean Boulevard 7th Floor, Long Beach CA 90802.

15. Mitigated Negative Declaration (Environmental Review) for revision of Solid Waste Facility Permit at Bel-Art Waste Transfer Station, 2501 E. 68th St.

Bel-Art Waste Transfer Station, located at 2501 E. 68th Street, has applied to the County of Los Angeles Department of Health Services for a revision of their Solid Waste Facility Permit to allow an increase in the amount of material delivered to the facility from the current legal maximum of 1,500 tons per day to 4,000 tons per day. Bel-Art receives and temporarily stores non-hazardous municipal solid waste, greenwaste, and recyclable materials, and subsequently consolidates and transfers this material to disposal sites and recycling facilities. Waste is delivered primarily by commercial waste collectors, but Bel-Art also accepts waste from the general public.

As background, the City of Long Beach Planning Commission approved the construction and expansion of an existing recycling center (originally established in the 1970s) and the construction of a new administration building with an appurtenant truck terminal facility in August of 1998. Negative Declaration 26-98 was also certified at this time.

The County of Los Angeles DHS, Solid Waste Management Program, received written comments related to the Mitigated Negative Declaration through October 25, 2004. According to a March 6, 2005 letter from LA County, senior management staff may decide whether to certify the Mitigated Negative Declaration. The City of Long Beach Environmental Officer responded to the Mitigated Negative Declaration with a letter commenting on the Noise, Traffic, and Air Quality sections of the document. At its October 19, 2004 meeting, the Long Beach City Council voted unanimously to adopt a resolution in opposition to the proposed solid waste facility permit revision for the Bel-Art Waste Transfer Station.

The Los Angeles County Department of Health Services, Solid Waste Management Program heard testimony at a Public Hearing on October 29, 2004, at McKinley Elementary School. Approximately 150 residents attended. If the Solid Waste Facility Permit revision were to be approved by the LA County Solid Waste Management Program, there would be a second hearing held by the California Integrated Waste Management Board prior to final consideration of the permit revision.

As of December 14, 2005 both the Solid Waste Facility Permit Revision and the certification of the Mitigated Negative Declaration are still **pending**.

ACTIONS ON COMPLETED CASES

16. Lot Merger at 2495 E. 68th Street (Case 0602-12) MH

The property owner of the Bel-Art Waste Transfer Station has applied to merge the two adjacent lots, which are under common ownership. The merger would facilitate the vacation of the Western portion of 68th Street that terminates at the Union-Pacific Railroad Tracks. Both the lot merger and street vacation were conditions of approval from a 1998 Conditional Use Permit.

The Zoning Administrator **approved** the Lot Merger request at the April 10, 2006 Zoning Administrator Hearing.

17. Sign Standards Waiver at 2139 E. Artesia Blvd. (Case 0602-07) JU

The applicant has requested sign standards waiver to allow a new 16 SF roof sign at the Animal Hospital located at 2139 E. Artesia Boulevard. Roof signs are not allowed by code, but may be approved through a Sign Standards Waiver. The request was **approved** with conditions, including bringing all signage on site up to code.

18. Conditional Use Permit for new cellular Mono-Palm at 5115 Atlantic Ave. (Case 0512-25) LH

A 45' high cellular monopole, designed as a palm tree, is proposed behind a commercial building at 5115 Atlantic Avenue. The equipment cabinets are proposed within the existing building. A Conditional Use Permit is required for cellular monopoles in all Commercial zones. Planning Staff has asked for an analysis of alternative sites that would meet the location requirements, but would not require a monopole. At the March 2nd Planning Commission hearing the Commission asked the applicant to further explore alternate locations including the YMCA at the NW corner of Atlantic Avenue and Del Amo Boulevard, and the Unions Pacific Railroad tracks. The applicant provided testimony at the April 6 Planning Commission hearing stating that alternate locations were not viable.

The Planning Commission **approved** the CUP application at the April 20, 2006 Planning Commission Hearing.

19. Conditional Use Permit for new cellular Mono-Palm at 5290 Long Beach Blvd. (Case 0512-01) LH

A 45' high cellular monopole designed as a date palm tree is proposed behind the Optical Optometry building at 5290 Long Beach Boulevard. Additionally, equipment cabinets screened by a 6' block wall at ground level are proposed. A Conditional Use Permit is required for cellular monopoles in all Commercial zones. Staff asked the applicant to explore other locations in the area for an attached/roof mounted cellular site. At the March 2 Planning Commission hearing the Commission asked the applicant to further explore alternate locations including the CVS Pharmacy on Long Beach Blvd. Following the hearing the applicant provided information to staff that CVS was not interested in locating a roof mounted cellular antenna at that site.

The Planning Commission **approved** the CUP application at the April 6, 2006 Planning Commission Hearing.

ANNOUNCEMENTS

20. Compton Community College Mitigated Negative Declaration for new Performing Arts Complex

Compton Community College has prepared an environmental review document to consider potential environmental impacts for a proposed performing arts complex. The proposed 55,600 SF performing arts complex would include a 433-seat theater, a 99-seat experimental theater and support spaces and classrooms. The complex would also include the construction of a new campus entry (West of the existing entry on Artesia Blvd.), new roadways, an outdoor gathering space and garden, campus wide utility improvements, and an additional 230 to 280 parking spaces. The City of Long Beach has submitted comments and met with Compton College staff regarding the Mitigated Negative Declaration. Compton College has indicated that they will include additional mitigation measures to address concerns over noise, lighting, and parking.

The Compton Community College Board of Trustees **certified** the Mitigated Negative Declaration on Tuesday April 25th.

21. Redevelopment Agency Board Town Hall Meeting Postponed

The Long Beach Redevelopment Agency Board public outreach meeting originally scheduled for Monday, May 1 at 6:30 p.m. at Houghton Park has been **postponed**.

22. NLB Parks Construction Update

Grace Park, located on both the Northeast and Northwest corners of Plymouth Avenue and Elm Street, is on schedule and is expected to be completed by the end of April. The contractor will be installing the landscaping (turf, shrubs and ground cover over the next couple of weeks). Once the landscaping is completed, the contractor begins a 60-day maintenance and establishment period. The play equipment has been shipped from the factory and is expected to arrive by the end of January. The community garden at the Northwest corner of Plymouth and Elm is nearing completion. If a resident is interested in a community garden plot, please contact Anna Mendiola, Parks, Recreation and Marine at (562) 570-3165. The Grand Opening for Grace Park is scheduled for **Saturday May 20th at 11:00 a.m.**

Ed "Pops" Davenport Park, located just East of Paramount Boulevard at the terminus of 55th Way, is expected to be completed in April, with a 60-day maintenance and establishment period following. Installation of electrical underground for site lighting, irrigation main line and control wiring, and 3 new fire hydrants are complete. The parking area curbs and gutters, the restroom walls, and the basketball court have been constructed.

23. Veterans Day Parade Committee Volunteer Opportunity

The 10th Annual Long Beach Veterans Day Parade is scheduled for Saturday, November 11 at 10:00 a.m. The Parade Committee is looking for volunteers to help plan this year's event. Interested individuals should call 562-422-6669.

24. General Plan Update (GPU) – PHASE II BEGINS

The City of Long Beach began a project a year and a half ago to update the General Plan. The General Plan provides the roadmap for the City's growth and development over the next 20 to 25 years. A General Plan reflects the community's vision through goals and policies that are implemented through strategic plans, land use plans, design guidelines, and zoning regulations.

The General Plan helps shape how the City will change over time. How will neighborhoods change, will there be new shopping areas, should there be mixed use development along major streets, what type of jobs and businesses will exist, what will future buildings look like, how will people move around throughout the City, what kind of streets, sidewalks and landscaping will there be, and most important, how will Long Beach continue to be a great place to live, work and play.

The first phase of the General Plan update is complete. Community Cluster Advisory Teams, made up of individuals from five Community Planning Areas came together to provide input and identify issues. Not surprisingly, these geographic groups identified many of the same issues and concerns.

Phase II of the General Plan update will kick-off in March 2006. During this process it will be important for the community to develop a shared vision for the future in Long Beach. There will be a creative and comprehensive public outreach program to shape the vision. If you have ideas about the various ways we can reach the widest possible audience, please tell us. We are interested in reaching out to faith-based groups, neighborhood watch, community organizations and other public gatherings that would be good opportunities for public participation on the General Plan.

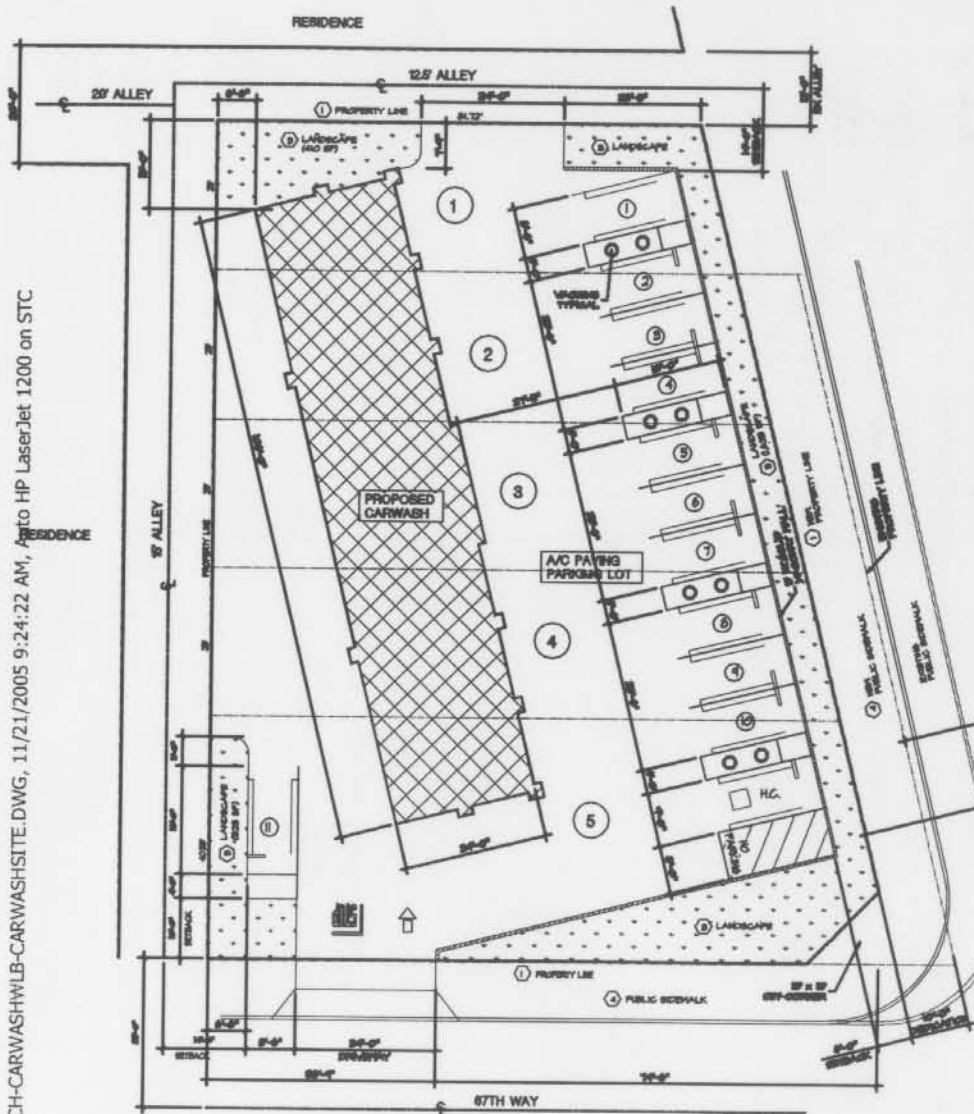
With your participation, we can shape a General Plan to reflect our shared values and vision, and provide a roadmap that takes Long Beach into the future.

Maps, demographic information, reports, documents, and community cluster input, is available online at: http://www.longbeach.gov/apps/advance_plan/index.html

IMPORTANT PHONE NUMBERS

| | |
|---|----------------------------------|
| Council Member (8 th District), Rae Gabelich | (562) 570-6685 |
| Council Member (8 th District), Field Office | (562) 570-1326 |
| Council Member (9 th District), Val Lerch | (562) 570-6137 |
| Council Member (9 th District), Field Office | (562) 570-3319 |
| Police, toll free, anonymous, Gang Tip | 1- (866) 426-4847 |
| Police non-emergency calls | (562) 435-6711 |
| Police narcotics tip | (562) 570-7125 |
| Community Policing, Marlene cyarron@longbeach.gov | (562) 570-9825 |
| Animal Control Center | (562) 570-7387 |
| Rats, Roaches, Vermin & Other – Environmental Health | (562) 570-4132 |
| Pot Hole Patrol, reporting street pot holes | (562) 570-3259 |
| Maintenance for City Traffic Signs | (562) 570-5264 |
| Abandoned shopping carts removal | 1-(800) 252-4613 |
| Things on power lines, SCE Hazardous Conditions | 1-(800) 611-1911 press 2, then 4 |
| Property Maintenance, Building, Zoning Code Enforcement | (562) 570-CODE |
| Zoning Information | (562) 570-6194 |
| Building Permit information | (562) 570-6651 |
| Historic Preservation | (562) 570-6864 |
| Call Before you Dig (Underground Service Alert) | (800) 227-2600 |
| Noise Complaint, Environmental Health | (562) 570-5650 |
| Unlicensed food vendors Business License | (562) 570-6211 ext. 7 |
| Unlicensed food vendors Health & Human Services | (562) 570-4219 |
| Damaged Sewer lines from street trees | (562) 570-3259 |
| Graffiti hotline, on private property | (562) 570-2773 |
| Graffiti in City Parks, Park Maintenance, Emy Arteaga | (562) 570-4895 |
| Graffiti in City Beaches | (562) 570-1582 |
| Graffiti on County flood control channel | (562) 256-1920 |
| Graffiti on Union Pacific Railroad property | (714) 379-3376 |
| Graffiti on Caltrans property, Christine Anderson | (310) 342-6161 |
| Special Refuse Pick-ups (Free twice a year for large items) | (562) 570-2876 |
| Public Service | (562) 570-2700 listen to menu |
| Neighborhood Resource Center, Margaret Madden | (562) 570-1010 |
| Storm Drain Hotline, report items dumped in storm drain | (562) 570-3867 |
| City Park Issues, Tom Shippey | (562) 570-4899 |
| Street Median Issues, Tom Shippey | (562) 570-4899 |

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LOT SIZE: 20.85
 PROPOSED BUILDING AREA: 2,940 SQ. FT.
 FIRST FLOOR - 2,388 SQ. FT.
 SECOND FLOOR - 408 SQ. FT.
 REQUIRED PARKING: 6 HATCH BAY X 2 = 12 SPACES
 PROVIDED PARKING: 12 SPACES
 (8 STANDARD SPACES
 4 HATCH SPACES)
 PROVIDED LANDSCAPE AREA: 2,360 SQ. FT.





- ① PROPERTY LINE
- ② FUTURE ELECTRICAL METER LOCATION
- ③ LANDSCAPE
- ④ PUBLIC SIDEWALK
- ⑤ ROOF DRAIN DRAIN - SEE FLOORING DRAIN

- 1. BRIDGED SEDIMENTS AND OTHER POLLUTANTS MUST BE REMOVED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA TRUCKS, TRAILERS, SPILLERS, AERIAL DRUMS, MATERIAL, DRAINAGE COURSES OR FIELDS
- 2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE COVERED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCE OF WIND OR WATER
- 3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL. STORAGE MUST BE APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE ELEMENTS. ALL TOXIC MATERIALS ARE TO BE PROPERLY STORED, MAINTAINED AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE MAINTAINED ON THE DRUMS
- 4. SIGNS OR WASTE CONTAINERS MAY NOT BE PAINTED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM'S PROVISIONS. MATERIALS USED TO RETAIN CONCRETE PAINTED ON SITE, SITES, THEY CAN BE DAMAGED BY THE PUBLIC
- 5. TRASH AND CONSTRUCTION RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT THE POLLUTION OF GROUNDWATER OR SURFACE WATERS
- 6. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADS MUST BE MAINTAINED TO PREVENT TRACKING OF MATERIAL FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITS MUST BE REMOVED IMMEDIATELY AND MAY NOT BE MAINTAINED BY RAIN OR OTHER MEANS
- 7. ANY SLOPES WITH DISTURBED SOILS OR EXPOSED VEGETATION MUST BE STABILIZED SO AS TO ENSURE EROSION BY WIND OR WATER

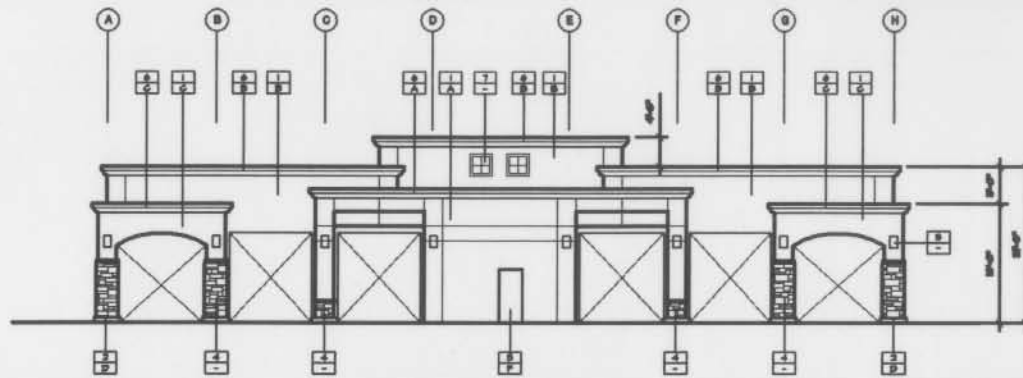
NOTE: ASH HATCHER BRUSHING CONTROL PLAN (PPC), UTILIZING SEDIMENT AND EROSION CONTROL, S-P, FOR PROJECTS THAT WILL LEAVE DISTURBED SOIL DURING THE RAINY SEASON (MAY 15 TO APRIL 30) IS REQUIRED. THE VINCEY MUST BE PREPARED FOR PROJECTS THAT WILL LEAVE DISTURBED GROUND, NOT LESS THAN 30 DAYS PRIOR TO THE BEGINNING OF EACH RAINY SEASON. DISTURBED SOIL SHALL BE DISTURBED, AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT EACH RAINY SEASON. FOR PROJECTS THAT WILL BEGIN CONSTRUCTION DURING THE RAINY SEASON, THE VINCEY MUST BE AVAILABLE 30 DAYS BEFORE CONSTRUCTION COMMENCES. THE VINCEY SHALL BE SUBMITTED TO THE BUREAU OF ENGINEERING, PUBLIC WORKS FOR REVIEW AND APPROVAL. THE VINCEY IS NOT A REQUIREMENT FOR THE ISSUANCE OF A BUILDING OR PLANNING PERMIT.

J. LEE & ASSOCIATES
A ASSOCIATES IS INTERESTED IN PLACING IT
AND VARIOUS OTHER COMPANIES, OR GROUPS
THEir (404) 383-3333 FAX (404) 383-3333

LONG BEACH CARWASH
6789 LONG BEACH BLVD.
LONG BEACH, CA

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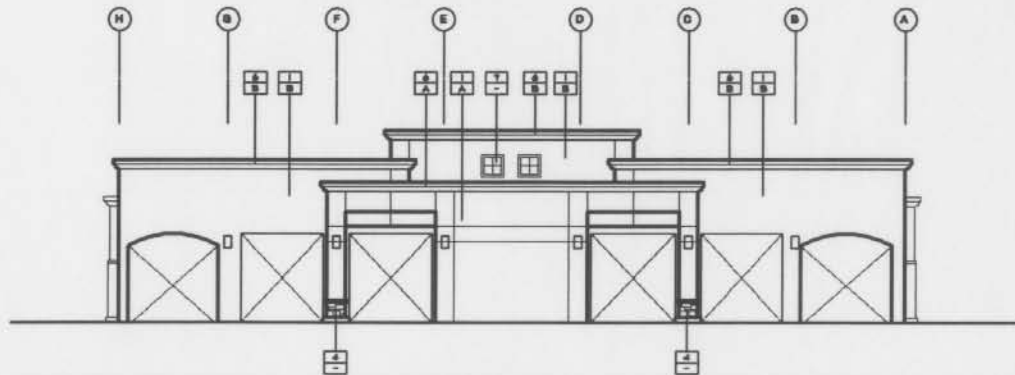
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EAST ELEVATION

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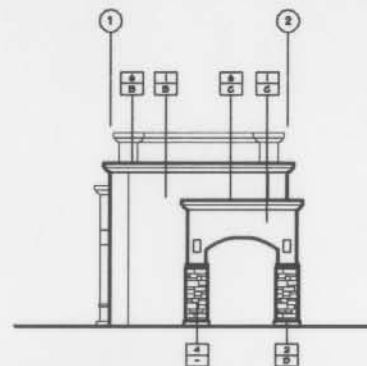
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WEST ELEVATION

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2



SOUTH ELEVATION

SCALE
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3

EXTERIOR MATERIALS

- 1 EXTERIOR GYPSUM PLASTER "LA HABRA STucco"
- 2 CONCRETE CURB BASE
- 3 GALVANIZED METAL
- 4 STONE VENEER - "CULTURED STONE"
- 5 DECORATIVE LIGHT, SEE ELECTRICAL DRAWINGS
- 6 SP6 SHAPED HOLDINGS
- 7 ALUMINUM STOREFRONT AND CLEAR GLASS

EXT. COLORS AND FINISHES

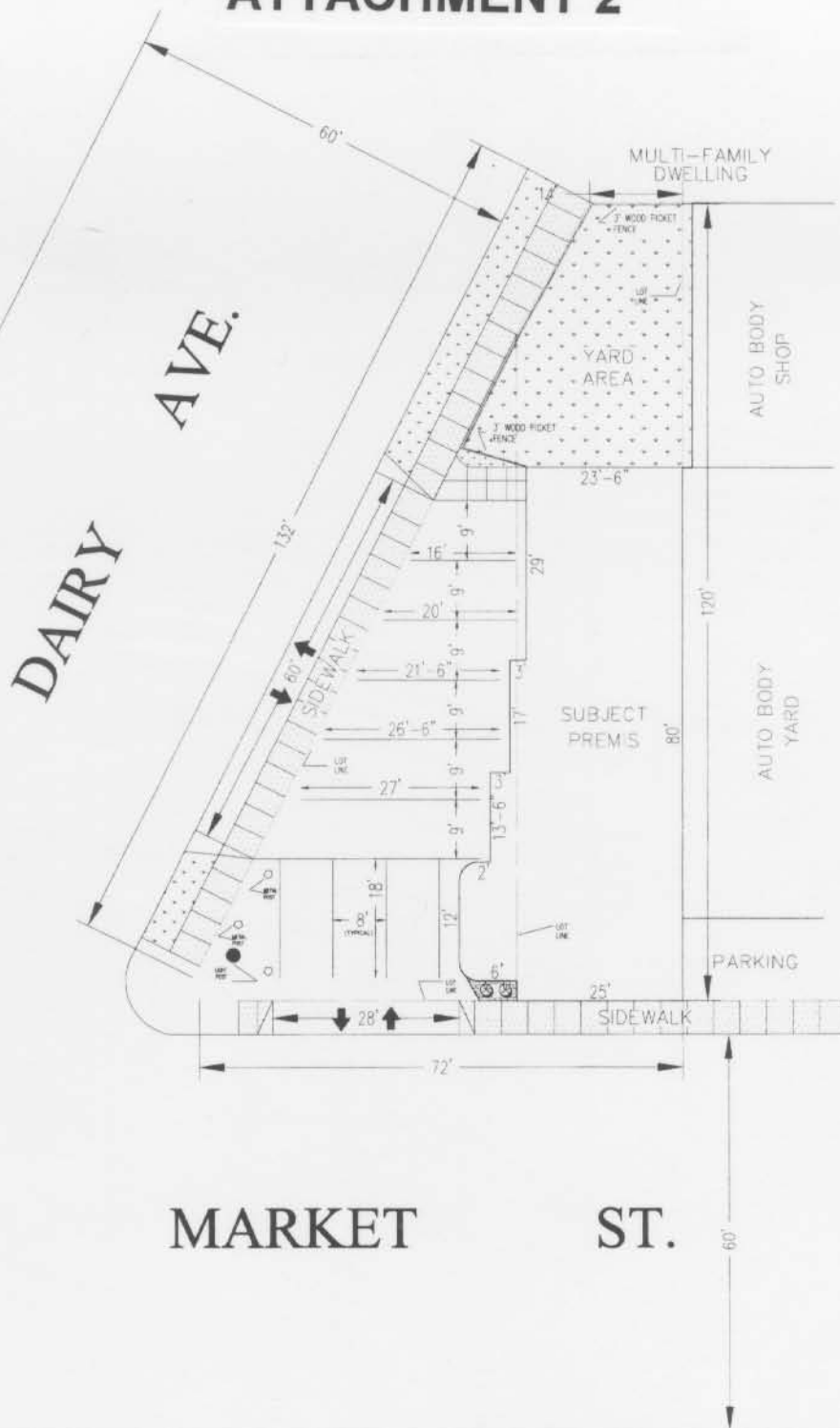
- 1 INTERIOR COLOR DASH EDWARD "VINT - DE EGG" MACHINE APPLIED FINISH WITH TRIM PROOF PLASTERING COATING, COLOR TO MATCH INTERIOR COLOR, PLASTER COLOR, SEE SPEC.
- 2 SAME AS 1 EXCEPT COLOR TO BE DASH EDWARD "MAHUA PEEL" - 5540
- 3 SAME AS 1 EXCEPT COLOR TO BE DASH EDWARD "CARAMEL APPLE" - 5533B
- 4 STANDARD GREY WITH SMOOTH FINISH
- 5 ANODIZE ALUMINUM DARK BRONZE
- 6 PRIME AND PAINT WITH SEMI - GLOSS ENAMEL, COLOR TO MATCH ADJACENT EXTERIOR SURFACE

J. LEE & ASSOCIATES
ARCHITECTS
10000 WILLOW BLVD., SUITE 100
LOS ANGELES, CA 90024
(213) 771-1111

LONG BEACH CARWASH
6769 LONG BEACH BLVD.
LONG BEACH, CA

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NORTH

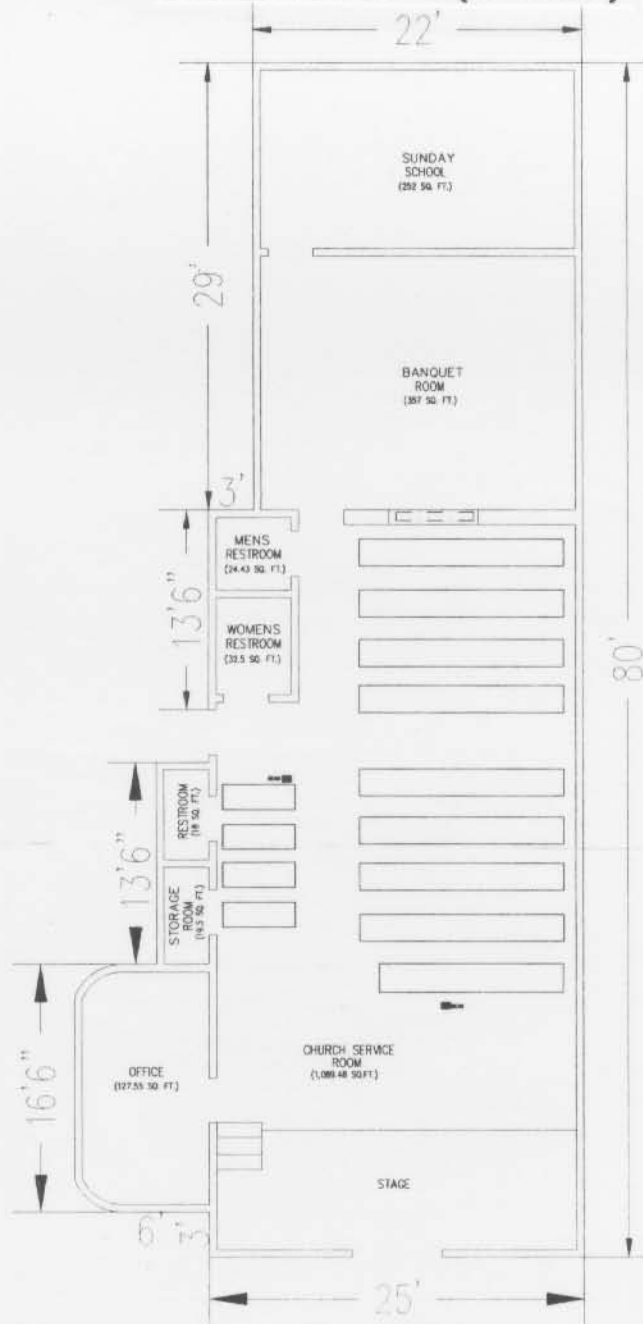
PROJECT ADDRESS
IGLESIA LIRIO DEL LOS VALLES
77 E. MARKET ST.
LONG BEACH, CA 90805

CASE NO.:
DATE: MARCH 24, 2006
SCALE: 1/8" = 1'
USES: FIELD
DRAWING BY: ERICKA R. ODOM

ZONING & LAND USE SOLUTIONS
1425 FREEMAN AVE. #2
LONG BEACH, CA 90804
(562) 841-2188

LOT NET ACRES: 0.12 A.C.
TOTAL LOT: 5,365.72 sq. ft.
SUB. BUILDING: 2,097.05 sq. ft.
EXISTING PARKING: 9 STALLS
ZONE: CNR

ATTACH. 2 (Cont.)



LEGAL: TRACT NO. 5134, LOTS 1183 & 1184, M.B. 59-63-64

SUBJECT BUILDING: 2,097.05 sq.ft.

PROJECT ADDRESS
IGLESIA LIRIO DEL LOS VALLES
77 E. MARKET ST.
LONG BEACH, CA 90805

EXISTING FLOOR PLAN

ZONING & LAND USE SOLUTIONS
1425 FREEMAN AVE. #2
LONG BEACH, CA 90804
(562) 841-2188

CASE NO.:
DATE: MARCH 24, 2006
SCALE: 1/4" = 1'
USES: FIELD
DRAWING BY: ERICKA R. ODOM

ATTACHMENT 3

CONDITIONAL USE PERMIT APPLICATION FOR:
 SHIELD OF FAITH CHRISTIAN CENTER
 5550 Long Beach Blvd., Long Beach, CA. 90805
 Pastor: Dr. Arlin M. Alexander
 (562) 422-7886

APPLICATION PREPARED BY:
 REX STARR / CHARLES A. HUNTER, JR.
 1052 BINGHAM AVENUE
 SUITE 200, S
 BEVERLY HILLS, CA. 90210
 Phone Number: (310) 275-6185

SUBJECT PROPERTY:
 5350 LG. BEACH BLVD.
 LONG BEACH, CA 90805

PLOT PLAN
 1/8" = 1'-0"



SHIELD OF FAITH CHRISTIAN CENTER
 5550 LONG BEACH BLVD., LONG BEACH, CA. 90805

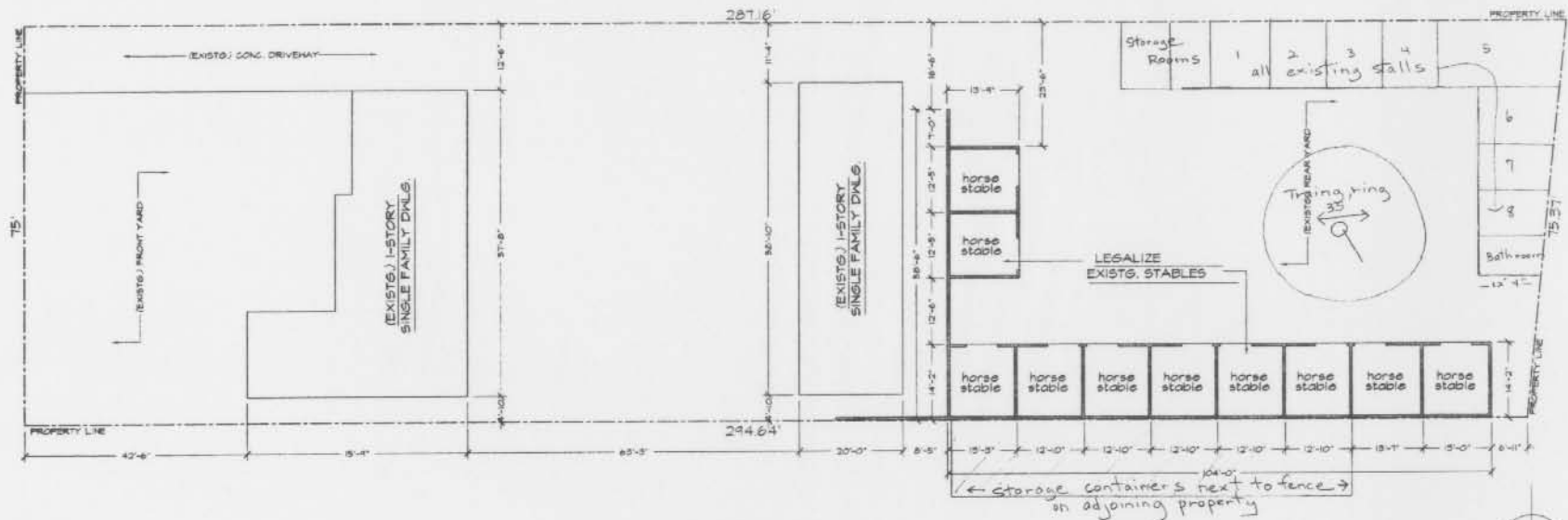
| REVISIONS | BY |
|-----------|----|
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| | |
|-------|-------|
| Date | |
| Scale | |
| Drawn | |
| Job | |
| Sheet | 1 |
| Of | Draws |

SHIELD OF FAITH CHRISTIAN CENTER
5350 LONG BEACH BLVD., LONG BEACH, CA. 90805



ATTACHMENT 4



PLOT PLAN
SCALE 3/32"=1'-0"



REVISIONS BY

Plans drawn by:

G P. FOX
DRAFTING

RESIDENTIAL COMMERCIAL
GUILLERMO PALAFOX
8050 E. Florence Ave.
suite #27
Downey, CA 90240
phone: (562) 928-5487
pager: (562) 409-3118

GENERAL NOTES

1. VERIFY MEASUREMENTS WITH CORRESPONDING CONTRACTS OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
2. FINISH ELEVATIONS REFERENCED ON ARCHITECTURAL DRAWINGS ARE FINISH ELEVATIONS ABOVE THE FINISH FLOOR ELEVATION. THE CONTRACTOR MUST CORRELATE DATUM-BASED ARCHITECTURAL ELEVATIONS WITH THE SITE-SPECIFIC ELEVATIONS SHOWN ON THE DRAWINGS.
3. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE SPECIFIED.

Project:

LEGALIZE EXIST.
HORSE STABLES

Sheet Title:

PLOT PLAN

Project for:

JESUS AVILA

Project:

Address:

7105 N.
ATLANTIC PL.
LONG BEACH, CA.

Checked

Job no. 0210

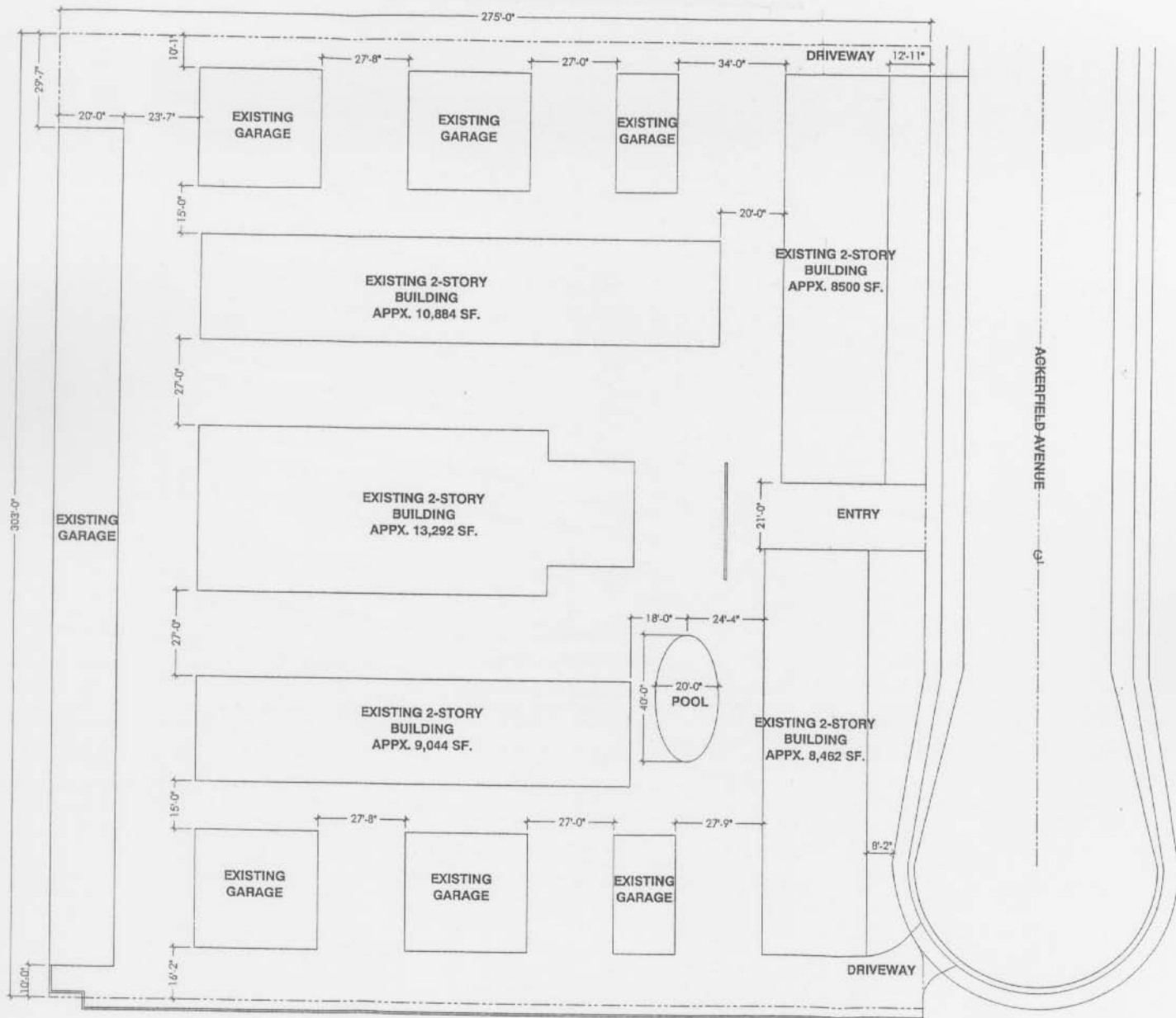
Drawn robert0

Date 1/2/05

SHEET:

1

ATTACHMENT 5



Legal Description:
Lot: 4 Tract: 29389
M.B.: 723-73-74

SITE PLAN
SCALE: 1/16" = 1'-0"

Project Address:
5505 Ackerfield Avenue
Long Beach, CA. 90805

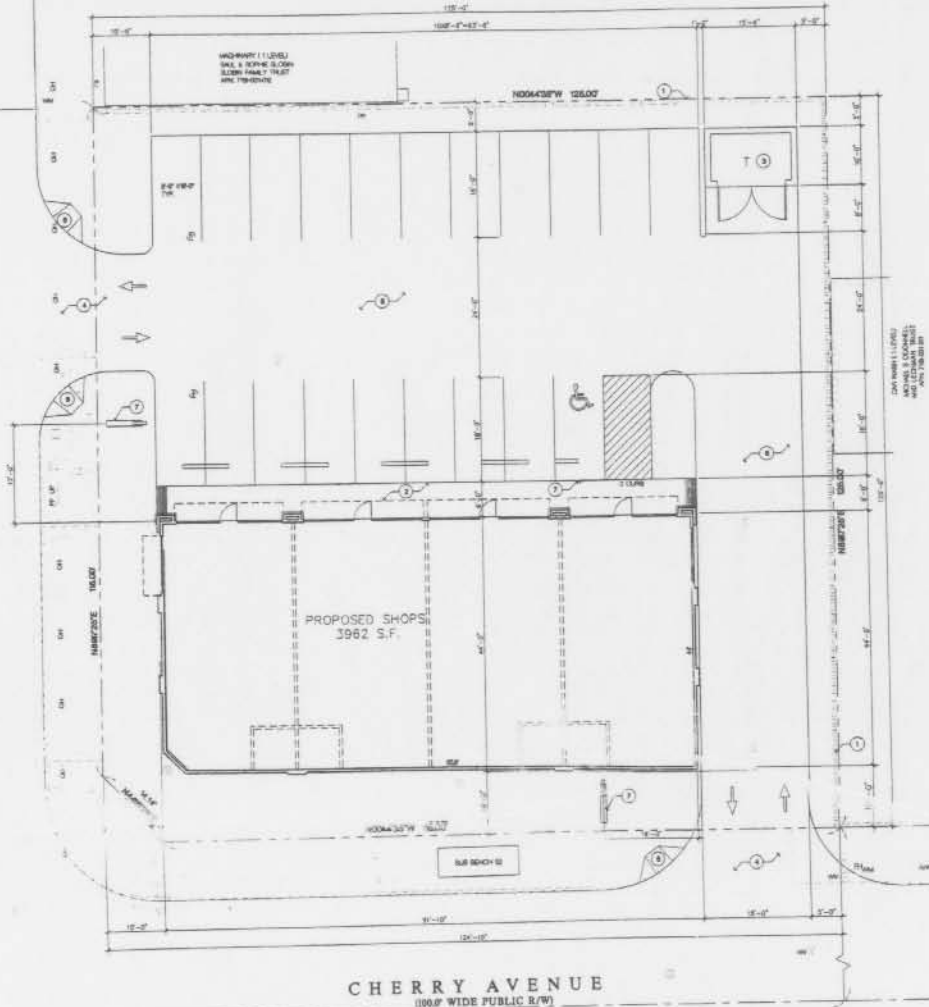
A.01



ATTACHMENT 6

MINNESOTA
SHILLING
AVE

EAST ARTESIA BOULEVARD
(100.0' WIDE PUBLIC R/W)



CHERRY AVENUE
(100.0' WIDE PUBLIC R/W)

Artesia & Cherry Retail Center
6598 Cherry Ave., Long Beach, CA

SITE PLAN

SCALE: 1"=10'-0"



Festival Development Partners LLC

9841 Airport Blvd., Suite 700
Los Angeles, CA 90045
Tel: 310.665.9657
Fax: 310.568.0080

PROJECT SUMMARY

- PROPERTY OWNER:** FESTIVAL DEVELOPMENT PARTNERS LLC
9841 AIRPORT BLVD., SUITE 700
LOS ANGELES, CA 90045
TEL: 310.665.9657
FAX: 310.568.0080
- PROJECT ADDRESS:** ARTESIA & CHERRY RETAIL CENTER
6598 CHERRY AVE.
LONG BEACH, CA
- LEGAL DESCRIPTION:** LOT 1 OF TRACT NO. 3865, IN THE CITY OF LONG BEACH, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 787, PAGES 3 AND 4 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
- ZONE:** OCA ZONE
- LOT SIZE:** 32938+1625 SF OR 0.26 AC
- PROPOSED USE:** NEW ONE STORY RETAIL SHOP BUILDING
- ALLOWABLE BUILDING AREA:**
BASIC ALLOWABLE AREA: 10000 SF
200% INCREASE FOR SPRINKLERED 24000 SF
SEPARATION ON 3 SIDES: 144
ACTUAL BUILDING AREA 3962 SF (3962 SF / 24000 SF = 16.5%)
- LOT COVERAGE:** 12.0% (3962/32938)
- PARKING SPACES REQUIRED:**
4 SPACES / 1000 SF RETAIL
10 SPACES / 1000 SF RESTAURANT
4 SPACES / 1000 SF RETAIL
- PARKING SPACES PROVIDED:** 20 STANDARD SPACES (INCLUDING 1 HANDICAP SPACE)
- PARKING RATIO:** 5:1
- SETBACKS:** STREET SIDE 10'-0"
SIDE AND REAR 5'-0"
- NUMBER OF STORY:** ONE
- MAX. OF BUILDING HEIGHT:** 25'-0" (128'-0" MAX)
- OCCUPANCY GROUP:** M & S RESTAURANT AND RETAIL USE
- TYPE OF CONSTRUCTION:** TYPE V-A, W SPRINKLER PROVIDED

DIRECTORY

| | | |
|-------------------|---|---|
| ARCHITECT: | KTGY GROUP 141 5TH STREET STE. 300 SANTA MONICA, CA 90401 TEL: 310.334-3823 FAX: 310.334-3825 CONTACT: STEVE STODOLAR E-MAIL: sstodola@ktgy.com | CIVIL / MECHANICAL: MURPHY & ASSOCIATES 2225 PASEO LAS ANIMAS SUITE 210 LOS ANGELES, CA 90025 |
| LANDSCAPE: | HERSCH AND ASSOCIATES 2221 EAST WINSTON ROAD, SUITE A ANAHEIM, CA 92805 CONTACT: CHUCK ROLEY TEL: 714.778-0040 E-MAIL: CHUCK@HALLANDROCK.COM | |

KEY NOTES

- EXISTING CONC. BLOCK WALL ALONG PROPERTY LINE TO REMAIN
- NEW CONC. WALKWAY
- NEW TRASH ENCLOSURE 8'-0" X 14'-0" CL
- NEW DRIVEWAY APPROACH
- NEW CONC. DRIVEWAY
- DISABLED ACCESS RAMP
- NEW HANDICAP PARKING SIGN
- LINE OF AWNING ABOVE SEE STRUCTURAL DRAWINGS FOR BLOCKING REQUIREMENTS
- MONUMENTAL SIGNAGE

VICINITY MAP



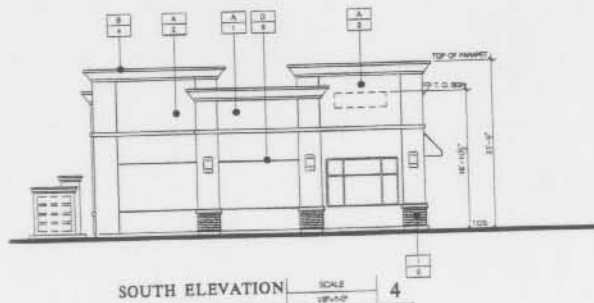
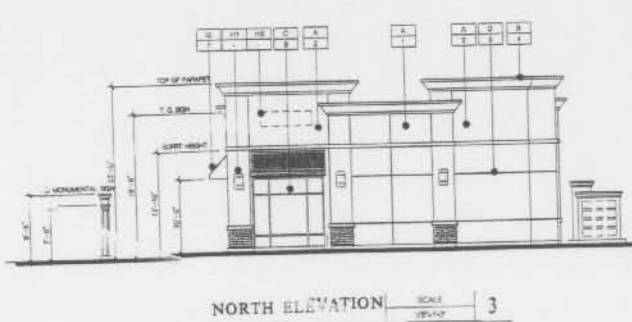
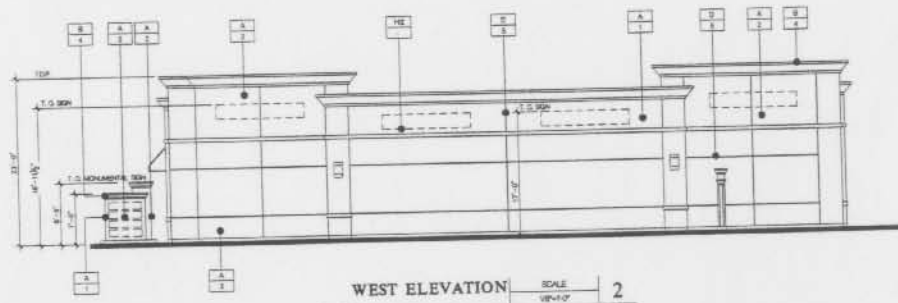
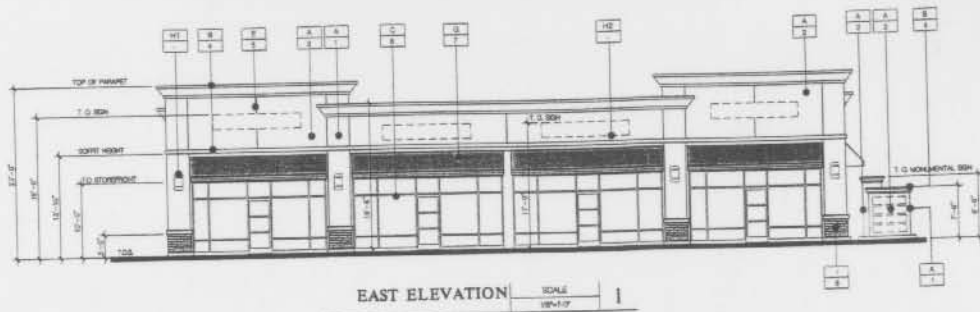
KTGY GROUP, INC.

141 5TH STREET STE. 300
SANTA MONICA, CA 90401
TEL: 310.334-3823
FAX: 310.334-3825



00199
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drawings. No reproduction or translation
without the written permission of
KTGY GROUP, INC.

ATTACH. 6 (Cont.)



EXTERIOR MATERIAL

| | |
|----|--|
| 1 | 1/2" GYP BOARD PLASTER WITH PINK SAND FLAT FINISH PAINT WITH A NON-SLIP PROOF ELASTOMERIC COATING COLOR AS INDICATED |
| 2 | FORM CONCRETE |
| 3 | ALUMINUM STRENGTHEN WITH 1/4" CLEAR GLASS INSULATION #2 - 1" CLEAR AG-2 1/2" THICK FINISHED |
| 4 | 7" METAL REIN. |
| 5 | 1" 1/2" METAL REIN. |
| 6 | 8" HIGH CONCRETE CURB |
| 7 | FINE REINFORCED FIBRIC ASPHALT |
| 8 | EXTERIOR WALL, 2" THICK INSULATION WITH 1/4" METAL CORNER COATING WITH 3/16" BARS 18" ON |
| 9 | 1/4" 1/2" REIN. TIEING REINFORCED CONCRETE SEE SECTION FOR DIRECTIONS |
| 10 | STONE VENEER |
| 11 | ALUMINUM, BRASS, 1/4" X 1/4" BRASS, SPACE FOR JOINTS |

EXT. COLORS AND FINISHES

| | |
|---|--------------------------------------|
| 1 | C3 852 HENNA BLUE |
| 2 | C3 858 HAY MARKET |
| 3 | C3 442 WESTERN TAIL |
| 4 | C3 444 CRT DOCKS |
| 5 | UNPRINTED |
| 6 | CARICAR MUSIC LOTUS BY SLOANOW STONE |
| 7 | RED CRUMBLE RED BY JANEELLA HENNET |
| 8 | ARCOSSO CLAW |

SIGN GUIDELINES

- [illegible]

ELEVATIONS

SCALE: 1/8"=1'-0"



Artesia & Cherry Retail Center
6598 Cherry Ave., Long Beach, CA

Festival Development Partners LLC

9841 Airport Blvd., Suite 700
Los Angeles, CA 90045
Tel: 310.665.9657
Fax: 310.568.0080

KTGY GROUP, INC.

Inductive Reasoning

1415 FIFTH STREET STE. 300
SANTA MONICA, CA 90401
(310) 394-2623
(310) 394-2623 FAX

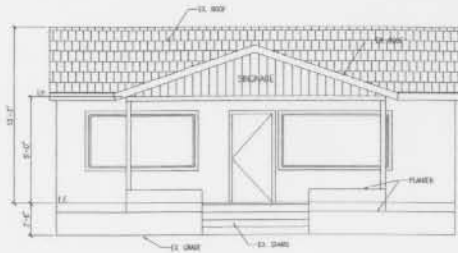


5079

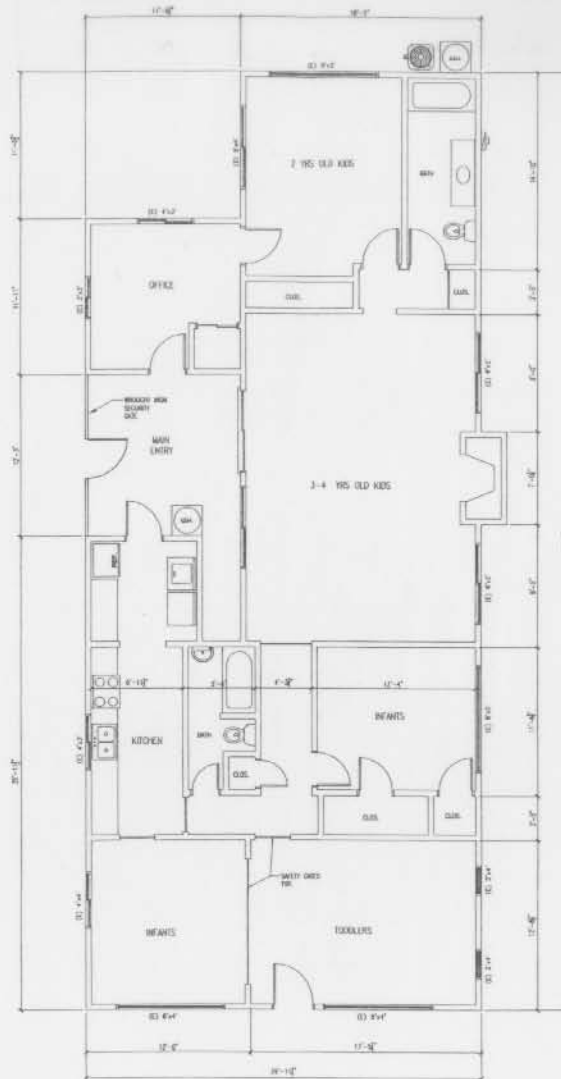
REVISIONS

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our verification and Olan, T-shirt, and
garment. No warranty or guarantee is
given by the author.

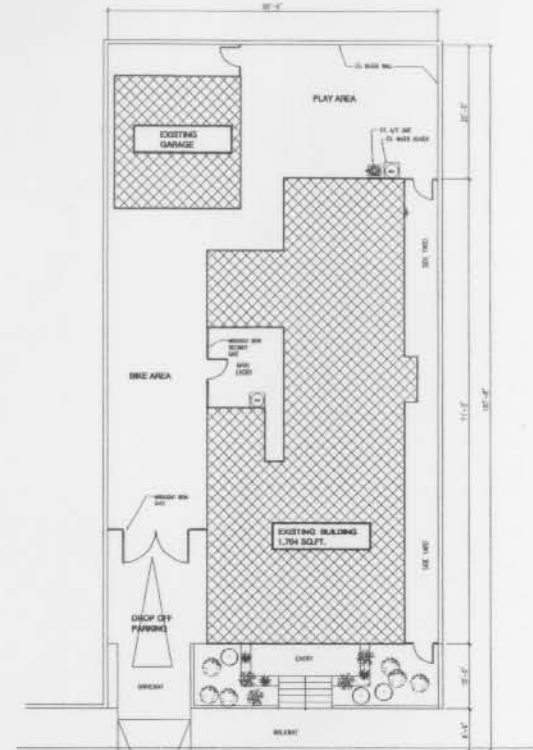
ATTACHMENT 7



FRONT ELEVATION
1/4" = 1'-0"



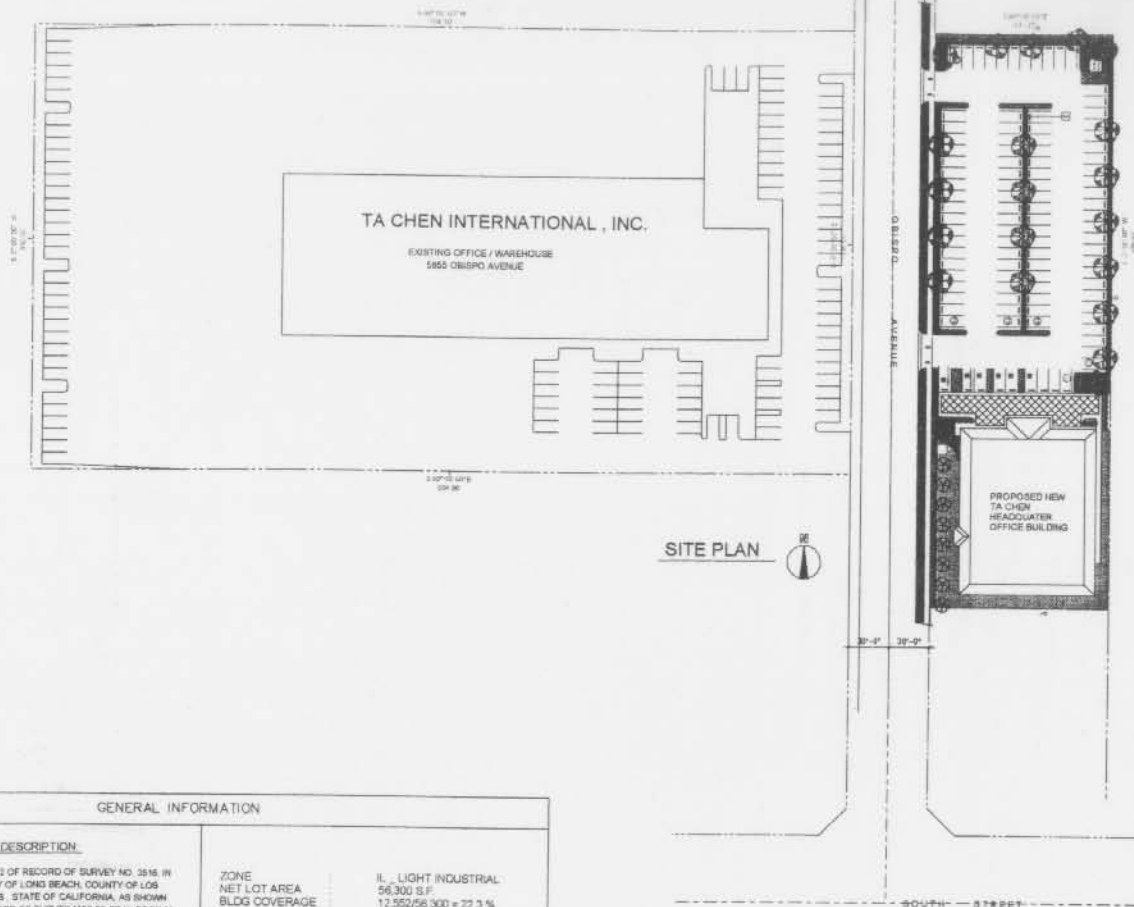
FLOOR PLAN
1/8" = 1'-0"



SITE PLAN
1/8" = 1'-0"



ATTACHMENT 8



SITE PLAN

GENERAL INFORMATION

LEGAL DESCRIPTION

PARCEL 2 OF RECORD OF SURVEY NO. 3816, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON RECORD OF SURVEY MAP FILED IN BOOK 88, PAGE 57 OF RECORD OF SURVEY, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ZONE

NET LOT AREA

IL - LIGHT INDUSTRIAL

56,300 S.F.

BLDG COVERAGE

12,552/56,300 = 22.3 %

PROJECT OWNER

TA CHEN INTERNATIONAL, INC.
5855 OMBRO AVE
LONG BEACH, CA 90805
CONTACT

HUEY INDUSTRIAL INC.
11921 GOLDING RD
ARCADIA, CA
TEL: 626-256-1911
FAX: 626-357-3121

PARKING ANALYSIS

BLDG GROSS FLOOR AREA : 24,284 SF
PARKING REQUIRED : 20,000/250 = (2,428-20,000)/500
= 80.85 = 80.5

PARKING PROVIDED : 102

GENERAL INFORMATION

CODES: 2001 CALIFORNIA BUILDING CODES
TITLE 24, PARTS OF CALIFORNIA ADMINISTRATION CODE

GROSS BUILDING AREA

1ST FLOOR: 12,552 SF
2ND FLOOR: 11,732 SF
TOTAL: 24,284 SF

BUILDING HEIGHT

2 STORY (30'-0")

OCCUPANCY TYPE

8 (OFFICE)

FIRE OF CONSTRUCTION

V-N

FIRE SPRINKLER

YES

FIRE RESISTANCE RATING

STRUCTURE FRAME

N

SCAFFOLD WALLS

EXTERIOR

1HR (804.3.1)

NON BEARING WALLS

EXTERIOR

1HR

ROOF CONSTRUCTION

INTERIOR

N

EXTERIOR WALLS

N

BUILDING SIDE

FINISH SEPARATION

SEPARATION

90'

EAST

1070 PROPERTY LINE

SOUTH

1270 PROPERTY LINE

WEST

90'

ALLOWABLE AREA CALCULATION

BASIC ALLOWABLE AREA: 8,000 SF (V-N)

100% INCREASE FOR SEPARATION ON TWO SIDES X2 = 16,000 SF

TOTAL COMBINED FLOOR AREA FOR MULTISTORY BUILDING MAY BE TWICE THAT PERMITTED

ALLOWABLE AREA: 16,000 X2 (2 STORY) = 32,000 SF > 24,284 SF

DET ANALYSIS

OCCUPANCY = 100 SF/OCC.

OCCUPANT LOAD: 24,284 SF/100 = 242 OCCUPANTS

EXITS REQUIRED: 2

EXITS PROVIDED: 2

EXIT WIDTH REQUIRED: 2" / OCCUPANT (242)

OCCUPANT / EXITS = 48.6" REQUIRED

EXIT DOOR WIDTH PROVIDED = 35" X1 = 144" > 48.6"

BUILDING FEATURE CALCULATION

OCCUPANT GROUP:

8

FLOOR AREA:

24,284 SF

OCCUPANT LOAD FACTOR:

24,284/200 SF/PERSON = 121

MALE WATER CLOSET

REQUIRED: 2

PROVIDED: 4

LAVATORIES

1

6

FEMALE WATER CLOSET

8

8

LAVATORIES

1

6

OCCUPANT LOAD OVER 30 REQUIRE 1 DRINKING

FOUNTAIN 1 PROVIDED

HUEY INDUSTRIAL, INC.

11921 GOLDING ROAD
ARCADIA, CALIFORNIA

TEL: 626.256.1911

FAX: 626.357.3121

E-mail: hueyusa@gmail.com

GENERAL INFORMATION,
MASTER SITE PLAN /
ROOF PLAN

03/08

1"=40'-0"

DATE

11/09

11/09

11/09

11/09

11/09

11/09

11/09

11/09

11/09

11/09

11/09

11/09

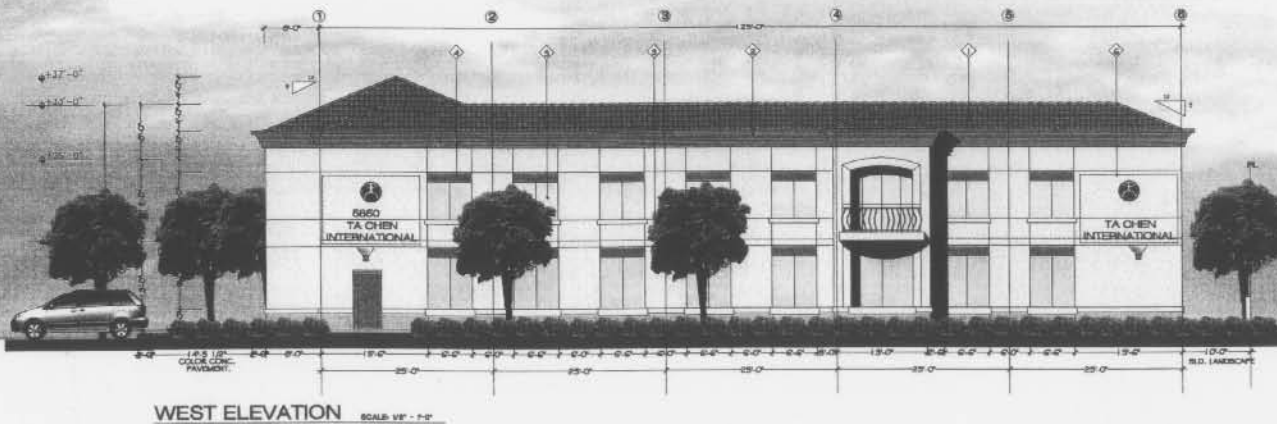
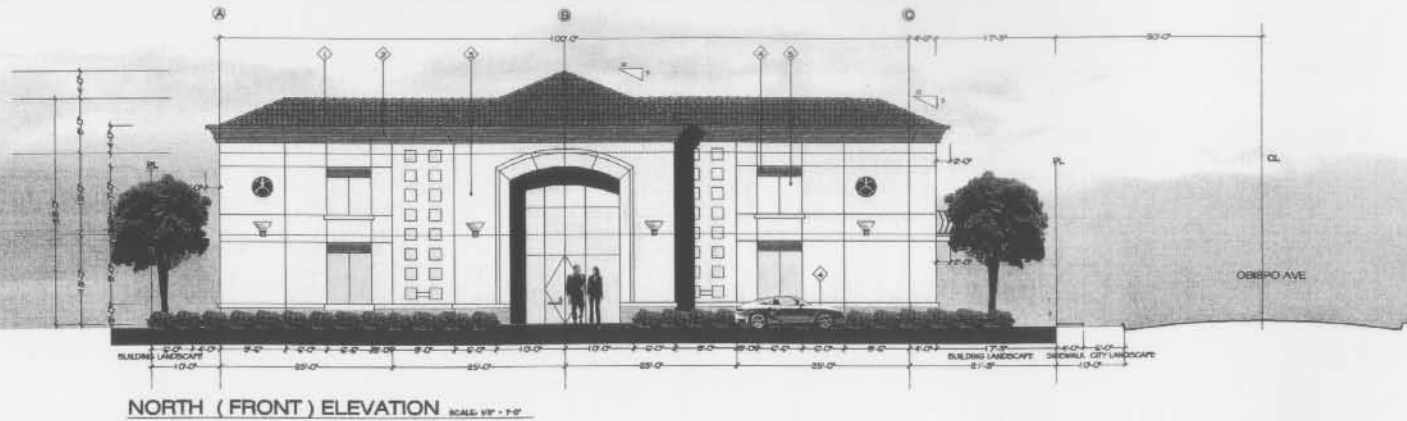
11/09

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11/09

A-1

ATTACH. 8 (Cont.)



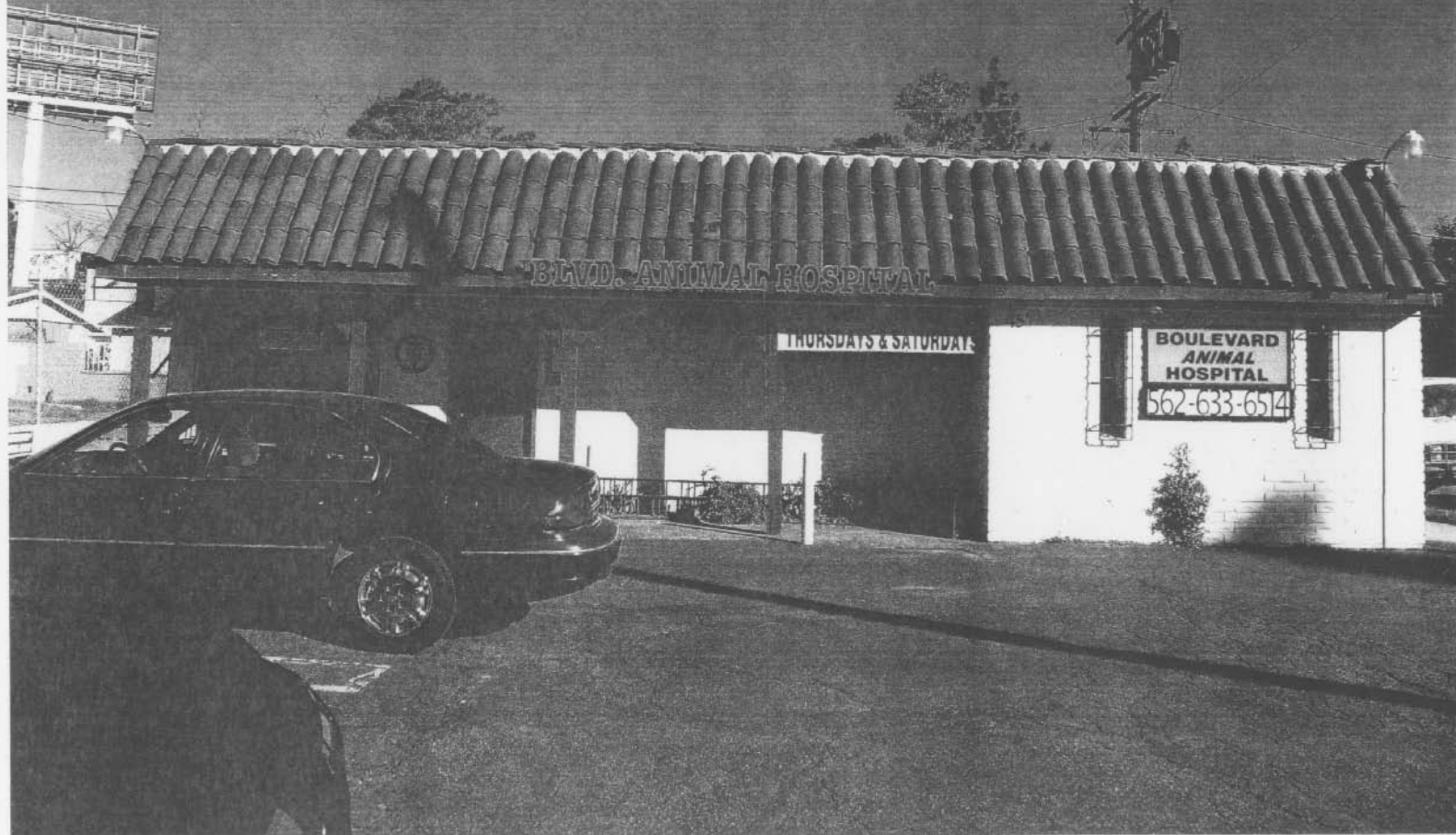
EXTERIOR FINISH MATERIALS:

- ① ROOFING: MONITE LIFETIME ROOFING - W/5:12 PITCH S TUF
- ② TRIM: COLOR BLENDED TRIM (PVC 14.1)
- ③ CEILING PANEL: PAINTED, BEIGE, GOLDEN HEMPSTOCK ECC-25.1
- ④ WALL: BEIGE, TRIM, KIDNEY ECC-10.1
- ⑤ WINDOW: ALL GLASS 1/4" TINTED GLASS
- ⑥ BUILDING SIGNAGE:

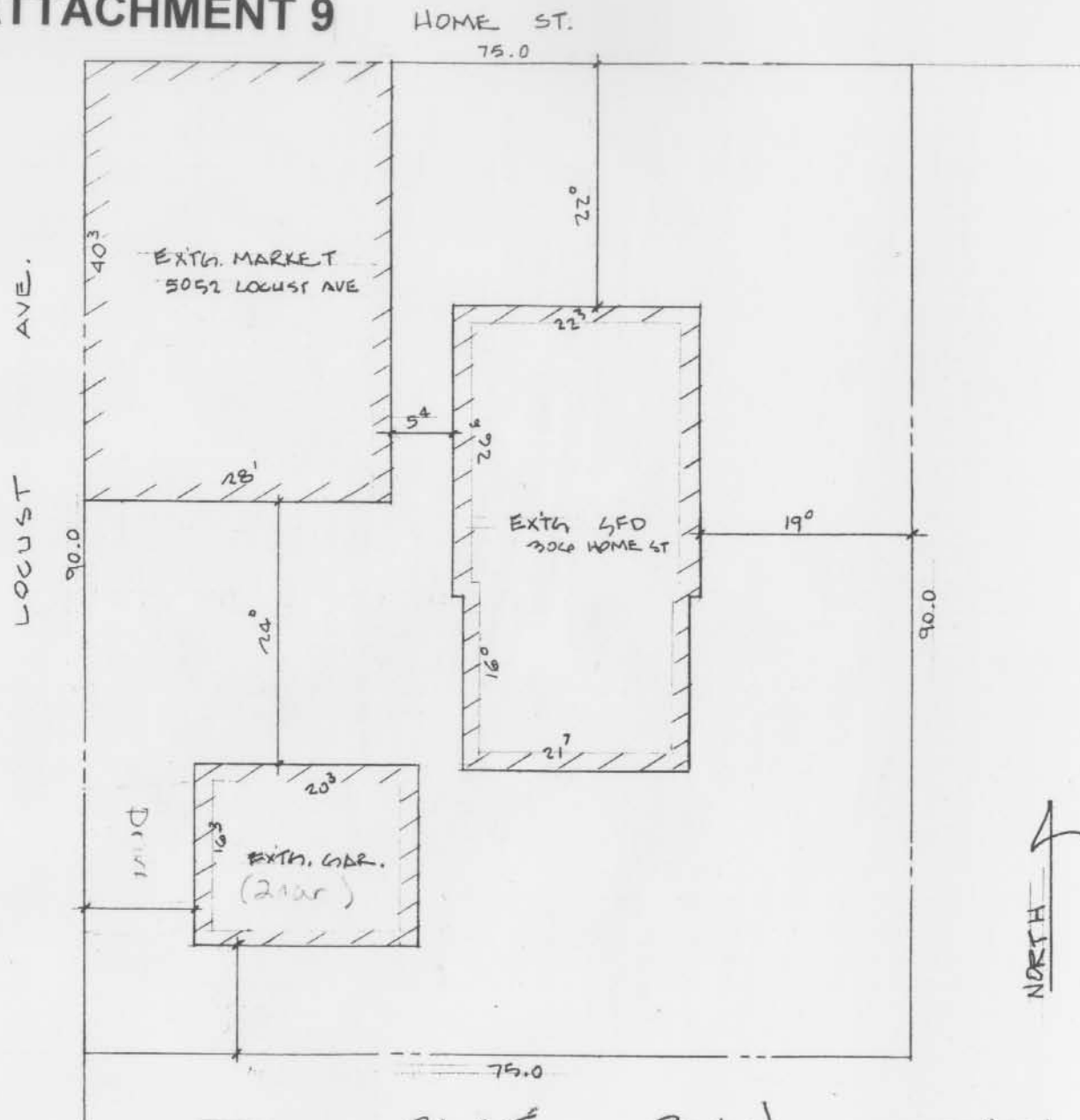


TA CHEN INTERNATIONAL, USA
5850 OBISPO AVE., LONG BEACH, CA 90805

ATTACHMENT 8

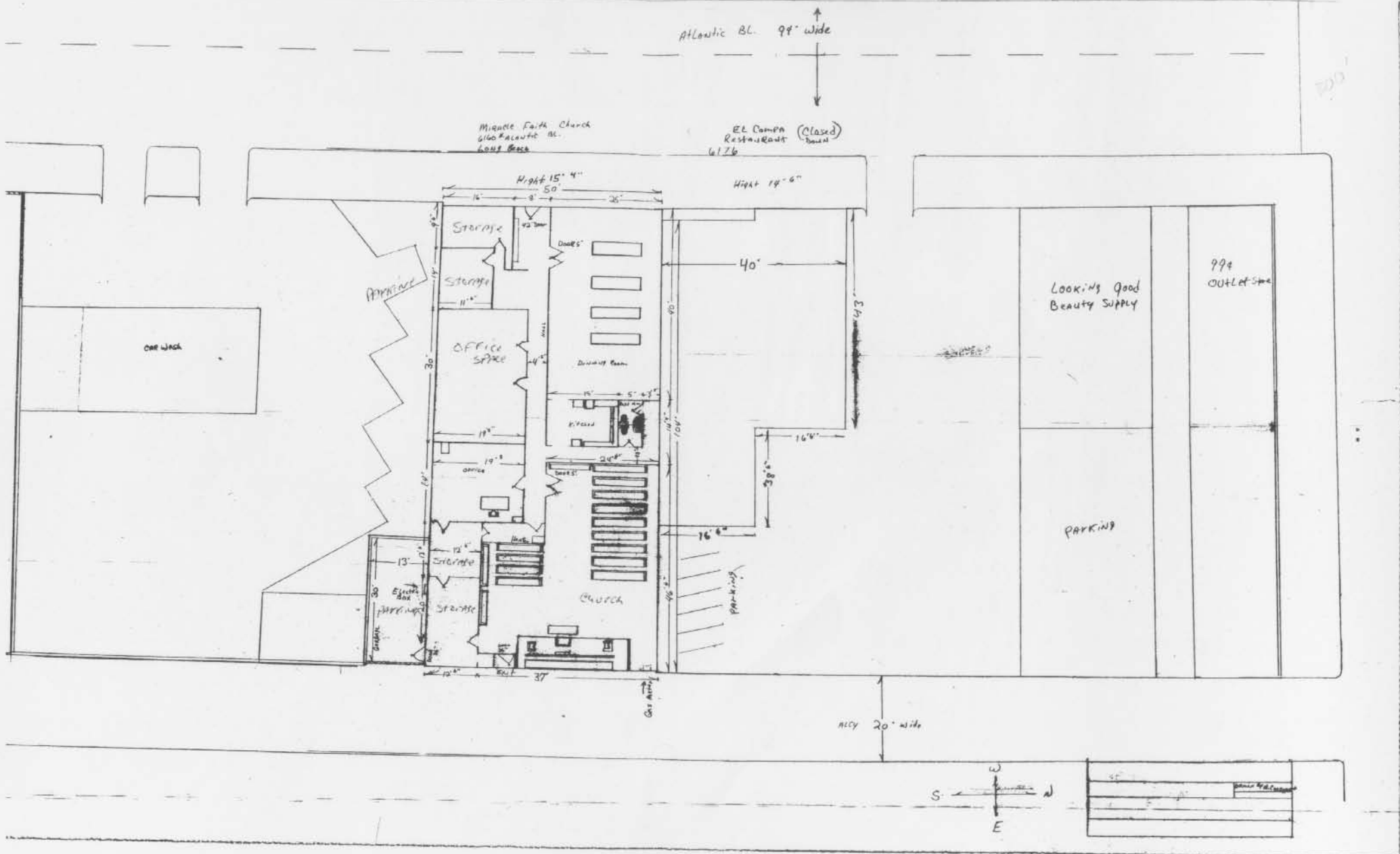


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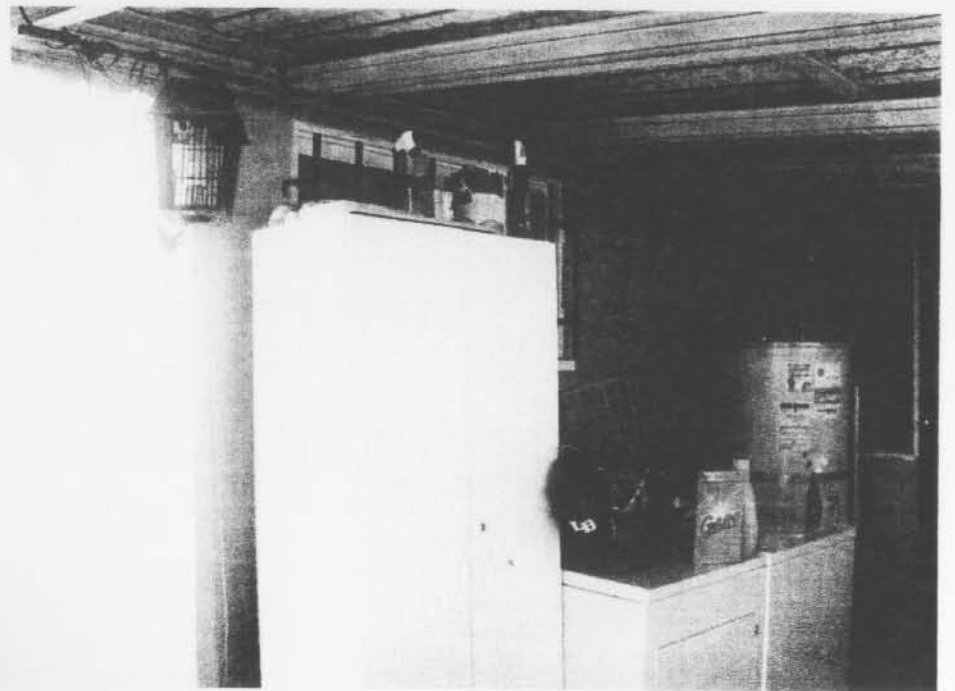
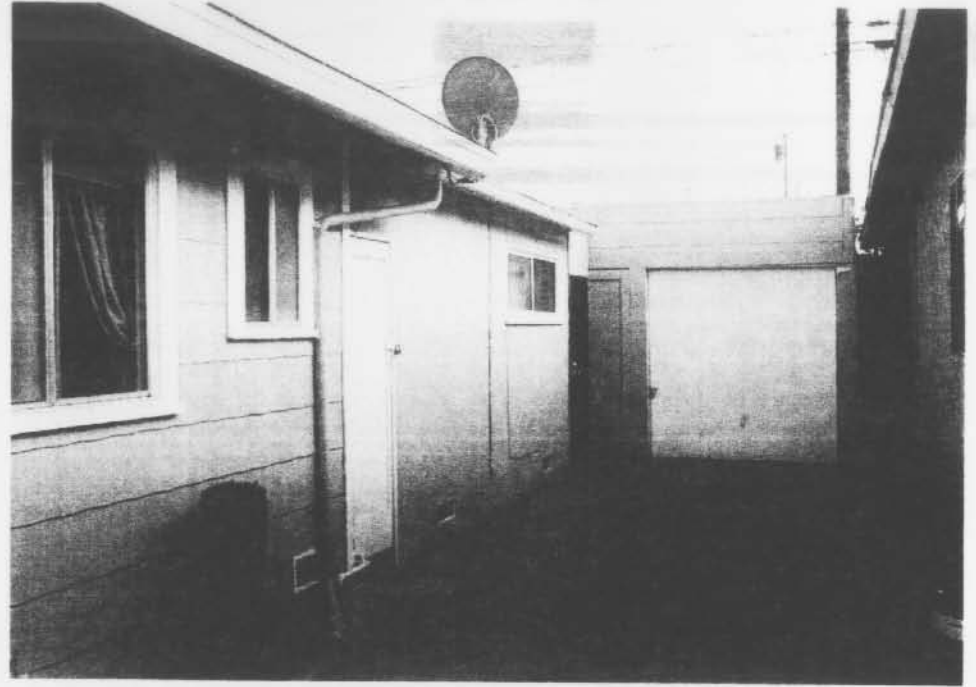
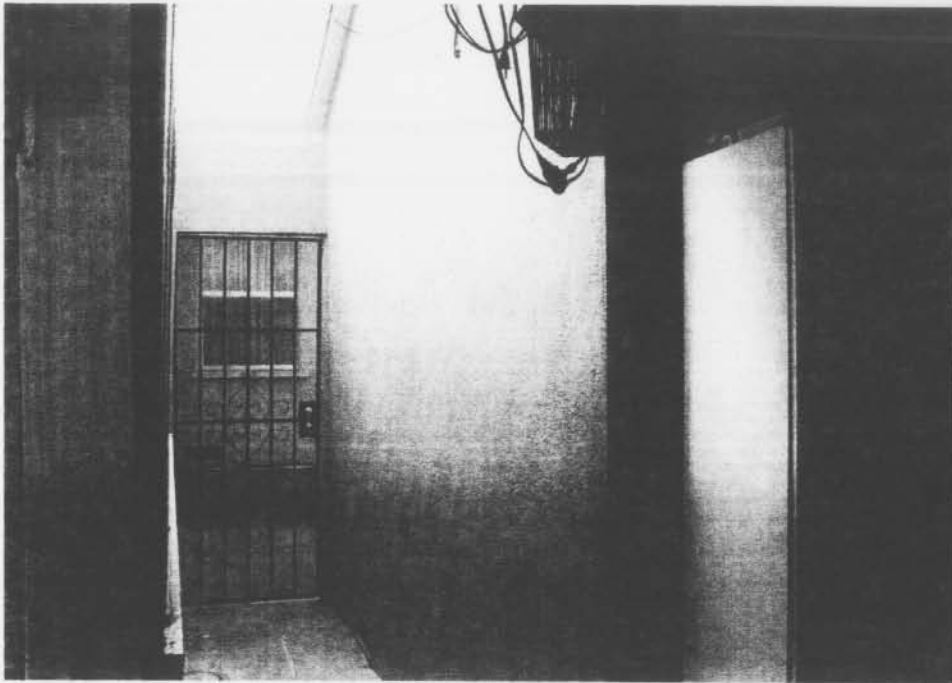


PLOT PLAN SCALE: 1" = 10'

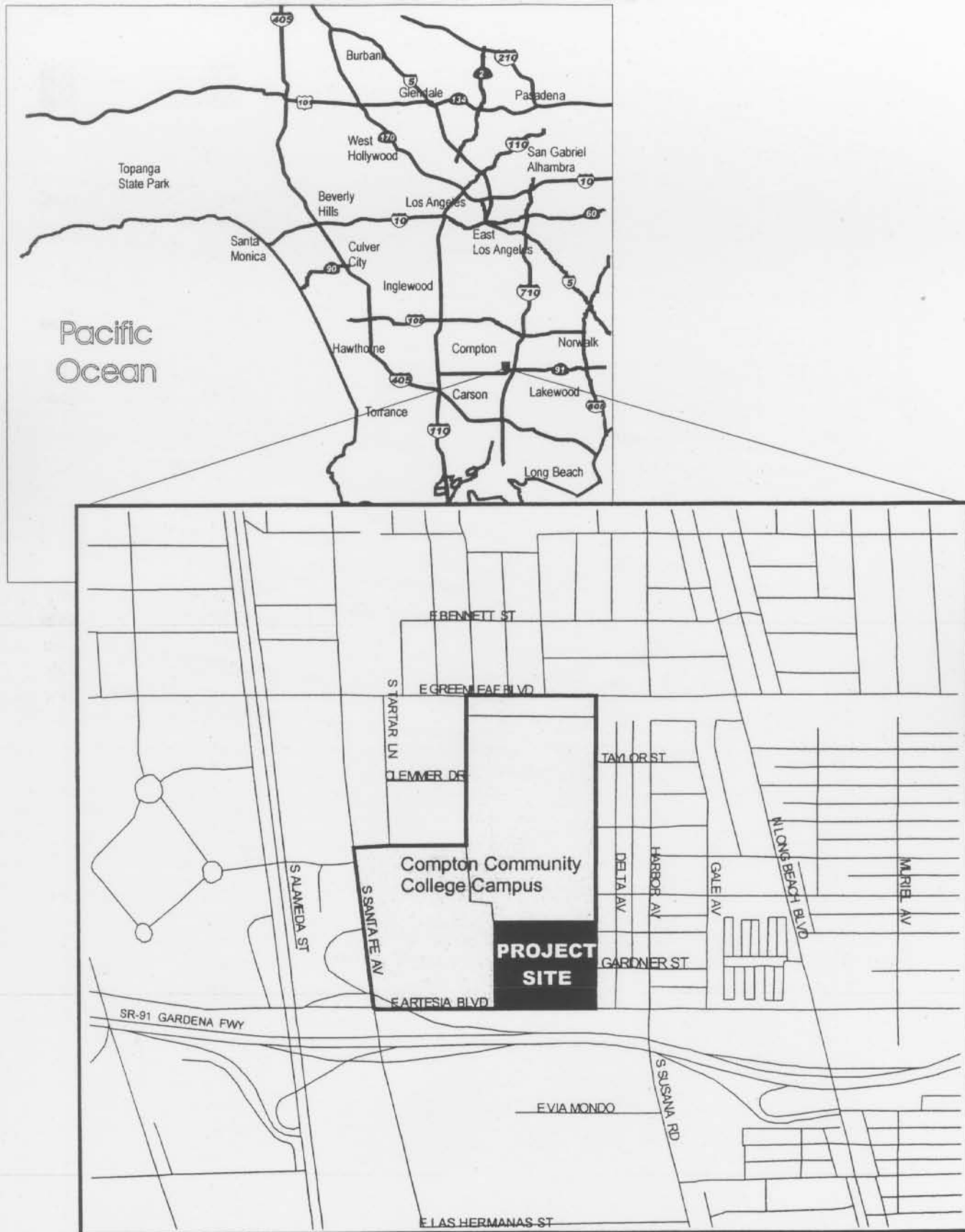
ATTACHMENT 10



ATTACHMENT 11



ATTACHMENT 11



SOURCE: ESRI & TAHA

NORTH

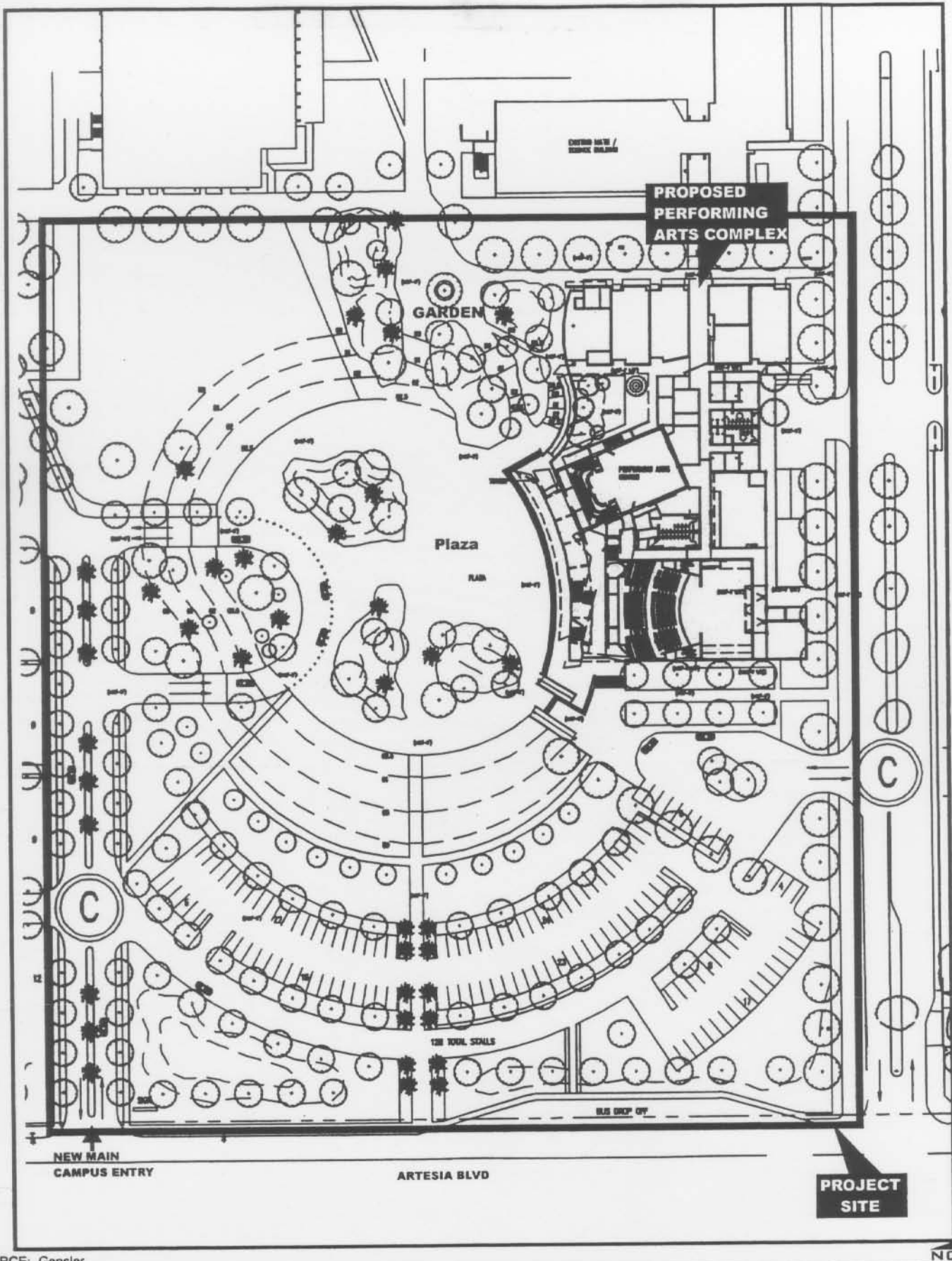


Compton Community College Performing Arts Complex
Initial Study/Mitigated Negative Declaration

COMPTON COMMUNITY COLLEGE DISTRICT

FIGURE 2-1

REGIONAL LOCATION

ATTACH. 11 (Cont.)

SOURCE: Gensler

NORTH



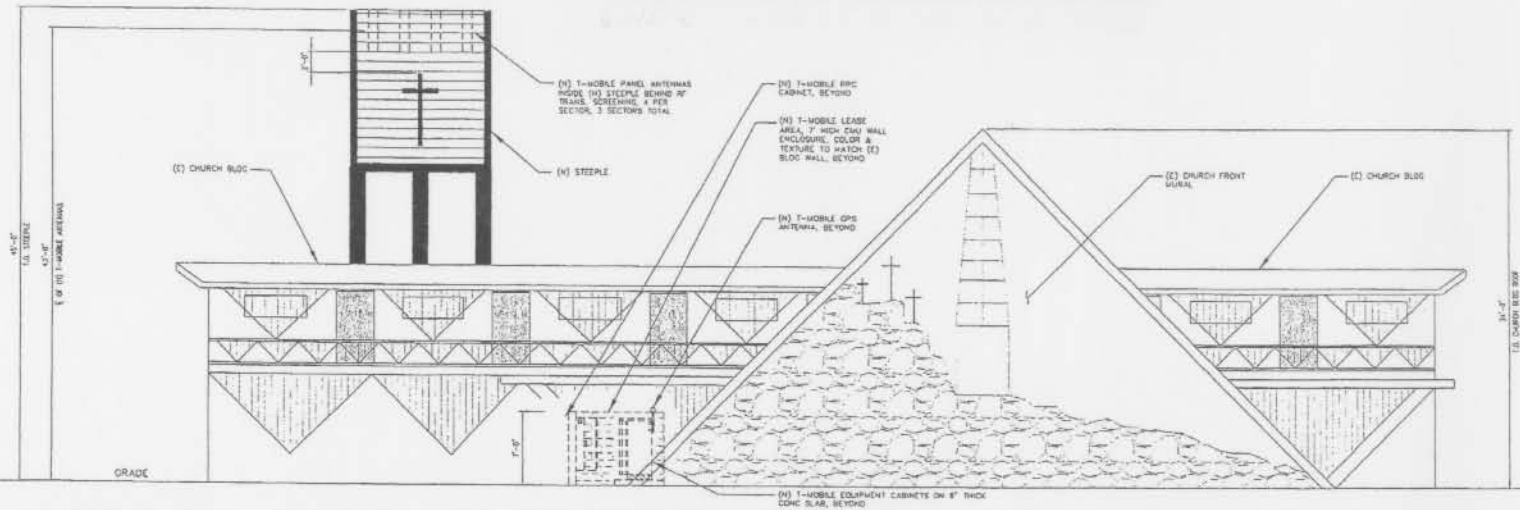
taha 2005-060

Compton Community College Performing Arts Complex
Initial Study/Mitigated Negative Declaration
COMPTON COMMUNITY COLLEGE DISTRICT

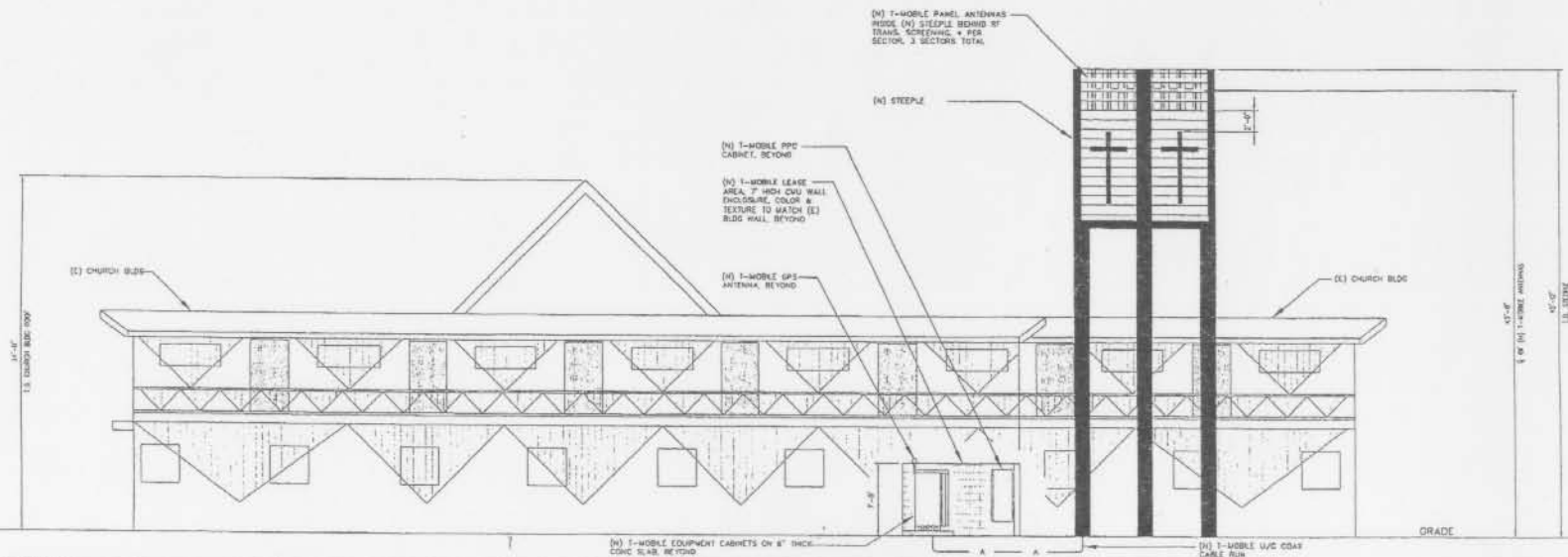
FIGURE 2-7

PROJECT SITE SHOWING
PROPOSED DEVELOPMENT

ATTACHMENT 12



NORTH ELEVATION



SOUTH ELEVATION

| | | | |
|----------------|----------|-------------------------------|-----|
| DATE: | | 02/22/06 | |
| CIVIL ENGINEER | | COO | |
| DRAWN BY: | | BB | |
| CHECKED BY: | | JPC | |
| REVISIONS | | | |
| REV | DATE | DESCRIPTION | BY |
| A | 02/17/06 | ISSUED FOR REVIEW AND COMMENT | BB |
| B | 02/22/06 | ISSUED FOR SUBMITTAL | JPC |

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET
OF DRAWINGS IS PROPRIETARY BY NATURE.
ANY USE OR DISCLOSURE OTHER THAN
THAT WHICH RELATES TO TAKING IS
STRICTLY PROHIBITED.

CLUE:

T-Mobile
3 IMPERIAL PROMENADE, SUITE 1100
SANTA ANA, CA 92707

PROJECT MANAGER:

CIVIL ENGINEER.

THE UNIVERSITY OF CHICAGO
 1100 SOUTH EAST ASIAN AVENUE
 CHICAGO, ILLINOIS 60607

004: 00-9027

CONSULTANT:



Trillium Telecom
Services, LLC
5972 Solon Ave., Huntington Beach, CA 92648

SCALE:

SITE NAME: GLAD TONGS CHURCH

SITE NUMBER: U403579

SITE TYPE: STEEPLE ANTENNA INSTALLATION

LOCATION:
1900 E. SOUTH STREET
LONG BEACH, CA 90805
COUNTY OF LOS ANGELES

| |
|------------|
| APPL. TYPE |
| FILE |

NORTH & SOUTH
ELEVATIONS

SHEET NUMBER

A-3

ATTACHMENT 12

REVISED

DATE: 04/21/06
CIVIL ENGINEER: CDG
DRAWN BY: BB
CHECKED BY: JPC

| REVISIONS | | |
|-----------|----------|-------------------------------|
| REV | DATE | DESCRIPTION |
| A | 02/17/06 | ISSUED FOR REVIEW AND COMMENT |
| B | 02/22/06 | ISSUED FOR SUBMITTAL |
| C | 04/21/06 | ISSUED FOR SUBMITTAL |

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY TO THE ENGINEER. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE PROJECT IS STRICTLY PROHIBITED.

CLIENT:
T-Mobile
3 IMPERIAL PROMENADE, SUITE 1100
SANTA ANA, CA 92707

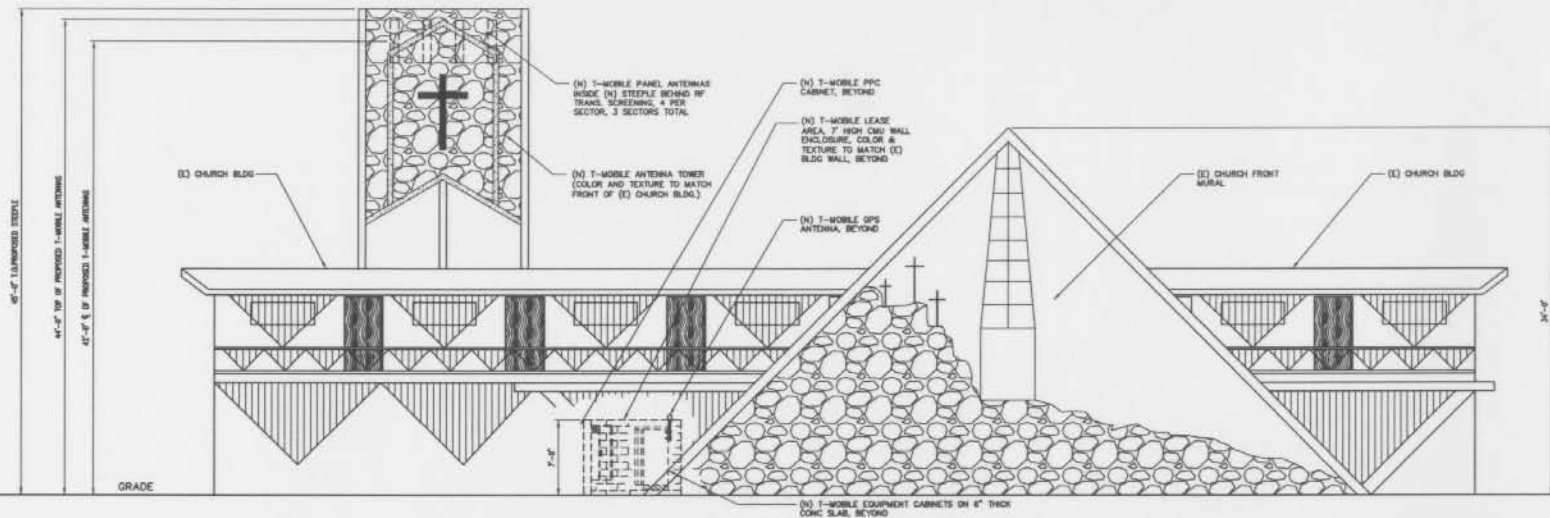
PROJECT MANAGER:

CIVIL ENGINEER:
CDG
CORRELL DESIGN GROUP, LLC
10000 E. 15TH AVE., SUITE 100
DENVER, CO 80202
CDG# 08-9027

CONSULTANT:
Trillium Telecom Services, LLC
1111 Bala Ave., Huntington Beach, CA 92649

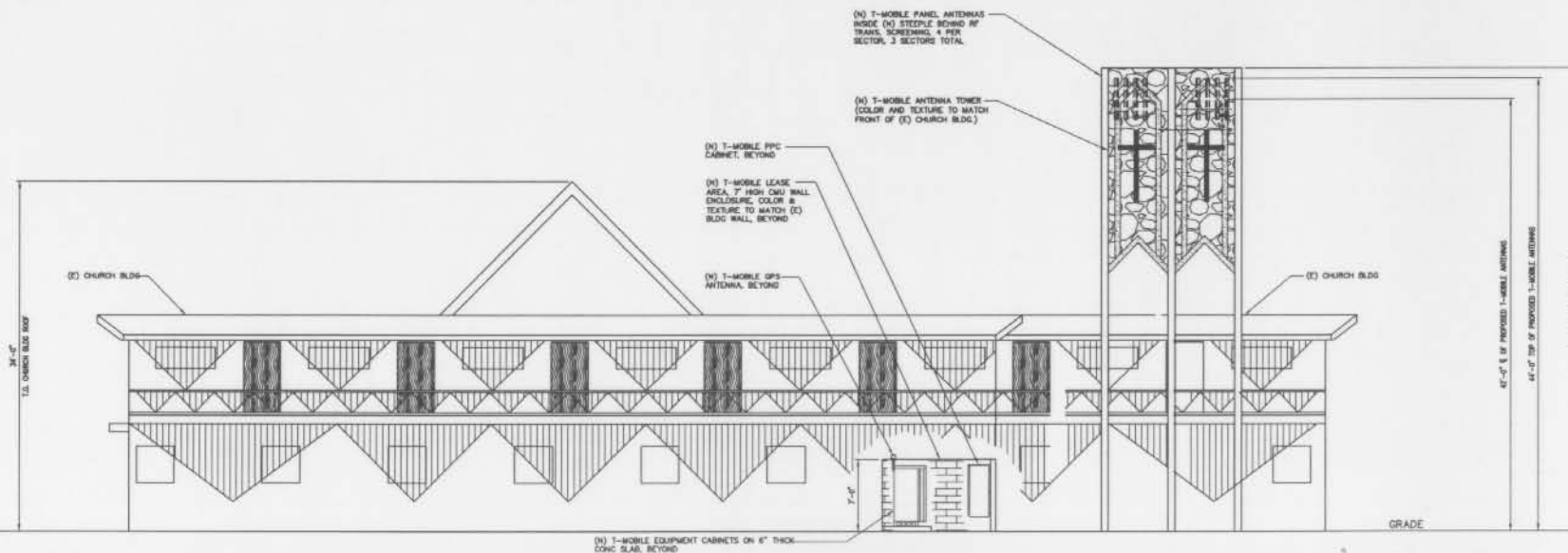
SCALE:

SITE NAME: GLAD TIDINGS CHURCH
SITE NUMBER: LA03579
SITE TYPE: STEEPLE ANTENNA INSTALLATION
LOCATION: 1900 E. SOUTH STREET LONG BEACH, CA 90805 COUNTY OF LOS ANGELES
APPL. TYPE: NORTH & SOUTH ELEVATIONS
SHEET NUMBER: A-3



NORTH ELEVATION

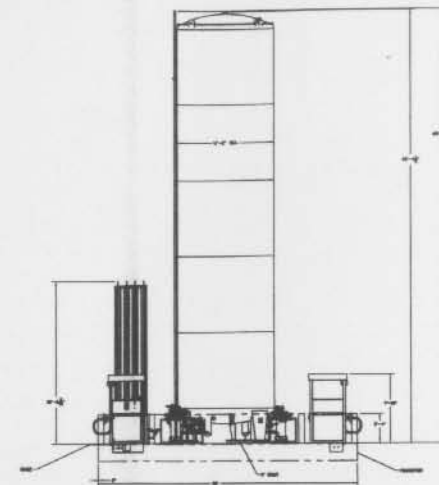
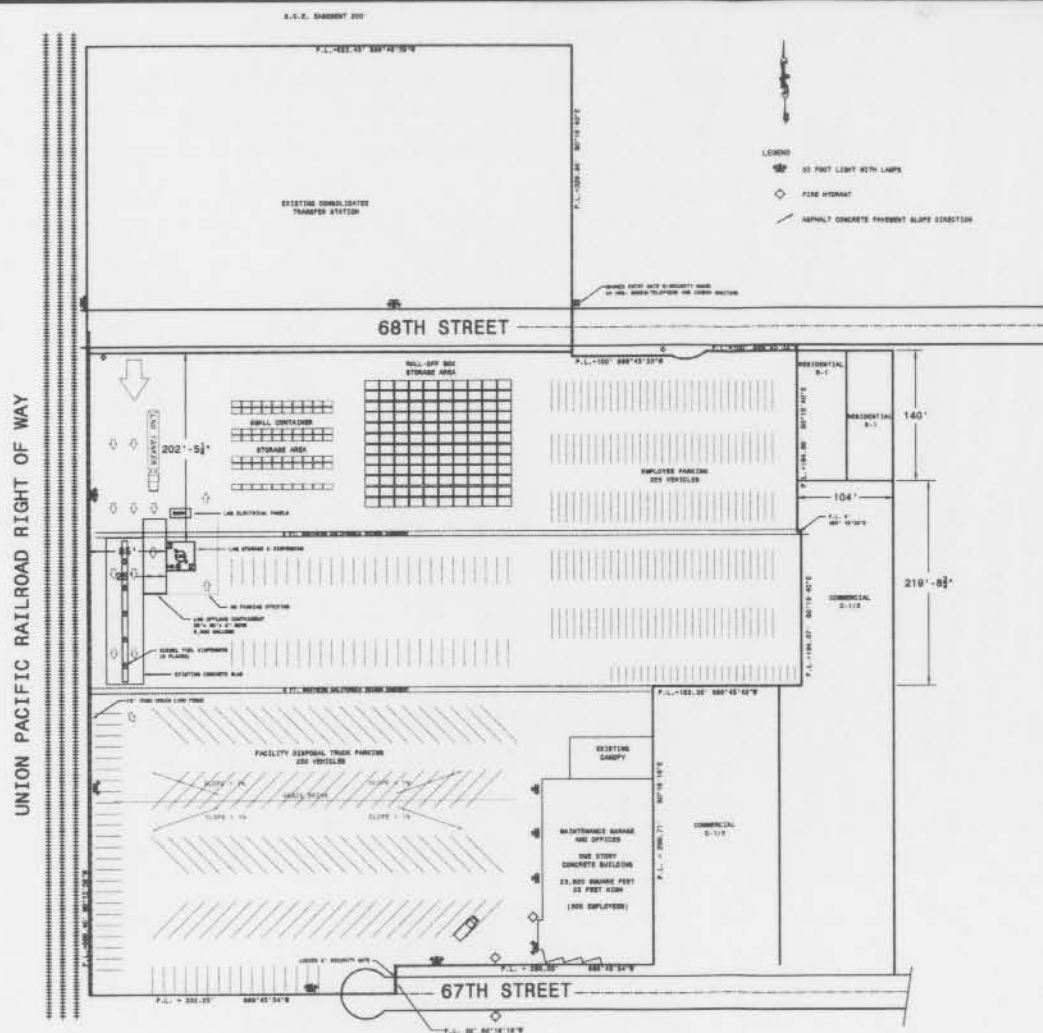
SCALE: 1/8\"/>



SOUTH ELEVATION

SCALE: 1/8\"/>

ATTACHMENT 13



Notes:

1. Original CUP (Conditional Use Permit) August 1998
9805 - 11
9805 - 18
2. See NPDES Report for site drainage details
3. Site area 184,374 S.F. - 4.2 acres
Building 15,055 S.F.
Area/Building Ratio = 15,055/184,374 = 8%
4. No trees on the site
5. Two site easements; SCE and PUC
6. Minimum Changes in vehicle parking; 6 parking spots will be used for the LNG Station. Vehicles will be relocated onsite.
7. Plot at Architectural "D" size 36"x 24".

SCALE:

1/8"=1'

DRAWN BY: SFL
DATE: 02-14-05
CHECKED BY: DATE:

| DATE | REVISIONS | REV. BY |
|----------|-----------------------------|---------|
| 03-18-05 | Rev. A, Add Elevation View | P.L. |
| 04-27-05 | Rev. B, Add Parking Details | S.L. |
| | | |
| | | |
| | | |

Weaver Electric, Inc.

DATE: 02-14-05
DRAWN BY: SFL
CHECKED BY: SFL

PROJECT: 118
REV. 1/18/05

PROJECT:

Consolidated Refuse
LNG-LCNG Fueling Station

SHEET NAME:

Consolidated Refuse
Site Plan View

SHEET:

S-1

SHEET 1 OF 1

ATTACH. 13 (Cont.)



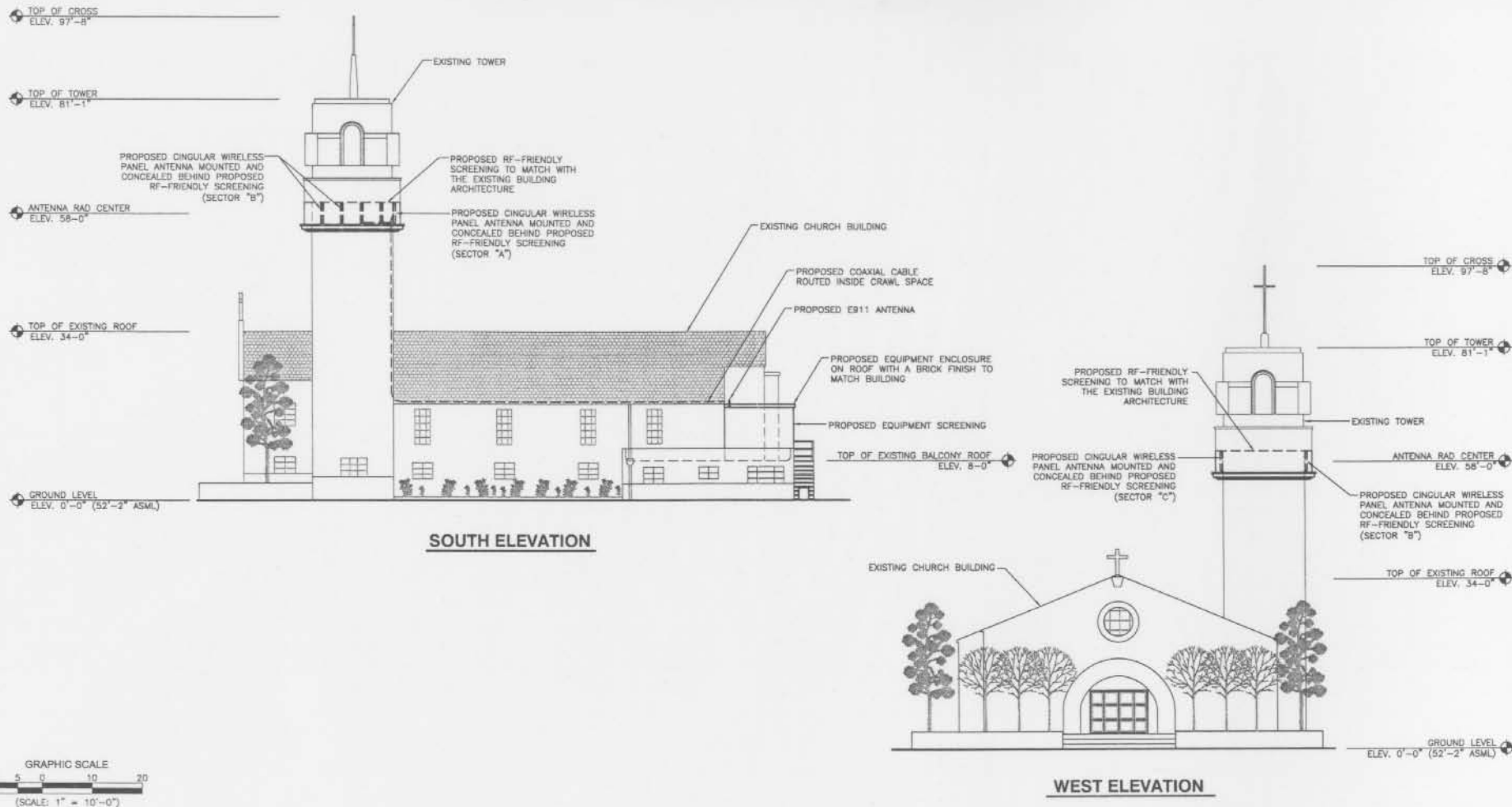
1. Original CUP (Conditional Use Permit) August 1998
9805 - 11
9805 - 18
2. See NPDES Report for site drainage details
3. Site area 184,374 S.F. - 4.2 acres
Building 15,055 S.F.
Area/Building Ratio = 15,055/184,374 = 8%
4. No trees on the site
5. Two site easements; SCE and PUC
6. Minimum Changes in vehicle parking; 6 parking spots will be used for the LNG Station. Vehicles will be relocated onsite.
7. Plot at Architectural "D" size 36"x 24".

SHEET:
S-1
SHEET 1 OF 1

SCALE NOTE:

IF DIMENSIONS SHOWN ON PLAN
DO NOT SCALE CORRECTLY, CHECK
FOR REDUCTION OR ENLARGEMENT
FROM ORIGINAL PLANS.

ATTACHMENT 14



URS

1615 MURRAY CANYON ROAD, STE 1000
SAN DIEGO, CA 92108
(tel) 619-294-1400
(fax) 619-293-7920

ST. ATHANASIOS CHURCH
LSANCA0176B
5398 LINDEN AVE
LONG BEACH, CA 90805

cingular
WIRELESS

12900 PARK PLAZA DRIVE
CERRITOS, CA 90703

| | | | | | |
|-----------------|----------|------------------------|------------|-----|-------|
| 2 | 12/06/05 | RF COMMENTS | JWL | ROG | SS |
| 1 | 11/22/05 | REVISED CANDIDATE NAME | JWL | ROG | SS |
| 0 | 08/15/05 | ISSUED FOR ZONING | ROG | TK | SS |
| A | 05/31/05 | ISSUED FOR REVIEW | AAA | TK | SS |
| NO. | DATE | REVISIONS | BY | CHK | APP'D |
| SCALE: AS SHOWN | | DESIGNED: AAA | DRAWN: AAA | | |

CINGULAR WIRELESS

ELEVATIONS

| JOB NO. | DRAWING NUMBER | REV |
|-----------|-------------------|-----|
| 24897-511 | A-LSANCA0176B-Z03 | 2 |

UNION PACIFIC RAILROAD R/W

(A) 15' EASEMENT FOR SEWER PURPOSES TO LOS ANGELES COUNTY SANITATION DISTRICT NO. 2. RECORDED IN BOOK 33496, PAGE 245 OF OFFICIAL RECORDS.

(B) 10' EASEMENT FOR POLE LINE PURPOSES TO SOUTHERN CALIFORNIA EDISON COMPANY. RECORDED IN BOOK 49017, PAGE 362 OF OFFICIAL RECORDS.

(C) 8' EASEMENT FOR POLE LINES AND CONDUITS PURPOSES TO PACIFIC TELEPHONE AND TELEGRAPH COMPANY. RECORDED IN BOOK 48381, PAGE 74 OF OFFICIAL RECORDS.

PARAMOUNT BOULEVARD

LOT MERGER NO.

2495 E. 68th STREET

WD 060195

| | |
|------|------------------|
| DATE | PROJECT ENGINEER |
|------|------------------|

PROJECT ENGINEER
ANACAL ENGINEERING CO.
CIVIL ENGINEERING & LAND SURVEYING

1900 E. LA PALMA AVE., SUITE 202 ~
ANAHEIM, CALIFORNIA 92805
PHONE: (714) 774-1763 FAX: (714) 774-4890
E-MAIL ADDRESS: anocal@anocalengineering.com

REVISIONS

| NO | DESCRIPTION |
|----|-------------|
|----|-------------|

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